

Custom Home

Talbot Custom Homes

Laureate Park

Neighborhood Center Phase 1

8517 Karrer Ter,
Orlando, FL 32827



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PROJECT GENERAL NOTES

REFER TO THE GENERAL CONTRACTOR'S SPECIFICATIONS FOR INFORMATION NOT DEPICTED, SHOWN OR DESCRIBED WITHIN THIS PLAN SET DOCUMENT. THIS INCLUDES, BUT IS NOT LIMITED TO, MECHANICAL, ELECTRICAL, PLUMBING LAYOUTS, ENERGY AND LOAD CALCULATIONS, CHOSEN WINDOW AND DOOR REQUIREMENTS, ETC.

BUILDING CODE INFORMATION

ALL REFERENCES MADE WITHIN THIS PLAN SET TO THE FBC-R SHALL INDICATE REFERENCES TO THE FLORIDA BUILDING CODE - RESIDENTIAL 8th EDITION (2023), ALL AMENDMENTS.

ALL NOTES AND PARTIAL DESCRIPTIONS WITHIN THIS PLAN SET SHALL BE CONSIDERED TO BE PARTIAL SUMMARY DESCRIPTIONS OF CODE SECTIONS.

IT IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR OF RECORD, THEIR SUBCONTRACTORS AND ALL OF THEIR AFFILIATES, AS WELL AS ALL THIRD PARTY SPECIALTY ENGINEERS, DESIGNERS AND FABRICATORS TO RESEARCH, REVIEW AND ADHERE TO ANY AND ALL APPLICABLE CODES OF THE GOVERNING MUNICIPALITY PRIOR TO COMMENCEMENT OF ANY AND ALL PORTIONS OF THIS PROJECT. ANY DISCREPANCIES FOUND SHALL BE REPORTED TO THE DESIGNER OF RECORD AND THE ENGINEER OF RECORD, IN WRITING, PRIOR TO COMMENCEMENT OF CONSTRUCTION.

BUILDING CODES

- Florida Building Code - Residential 8th Edition (2023)

OCCUPATIONAL TYPE RESIDENTIAL R-3
CONSTRUCTION TYPE V-B (UNPROTECTED, NOT SPRINKLERED)

DESIGN CRITERIA:

PLEASE REFER TO STRUCTURAL GENERAL NOTES FOR STRUCTURAL DESIGN CRITERIA.

DIMENSIONS & AREA CALCULATIONS

- ALL FIRST FLOOR DIMENSIONS ARE FROM THE INTERIOR FACE OF THE CMU, WHICH DOES NOT INCLUDE FINISHES LOCATED AT THE INTERIOR OR EXTERIOR FACE (STUCCO, FURRING STRIPS, DRYWALL OR OTHER FINISHES NOT DIMENSIONED TO), TO THE FACE OF THE STUD WITHIN THE INTERIOR WALLS INCLUDING EXTERIOR SHEATHING, EXCLUDING DRYWALL.
- ALL SECOND FLOOR DIMENSIONS ARE FROM THE EXTERIOR FACE OF THE EXTERIOR SHEATHED STUD WALL, EXCLUDING EXTERIOR FINISHES (STUCCO, FURRING STRIPS, DRYWALL OR OTHER FINISHES), TO THE FACE OF THE STUD WITHIN THE INTERIOR WALL, EXCLUDING DRYWALL.
- PLEASE NOTE: FURRING STRIPS AND DRYWALL ARE SHOWN, BUT ARE NOT DIMENSIONED TO, UNLESS NOTED OTHERWISE.
- WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS.

ELECTRICAL

- THE INCLUDED ELECTRICAL POWER AND LIGHTING LAYOUT SHEETS ARE INCLUDED AS A COURTESY AND ARE TO BE VIEWED AS **REFERENCE ONLY**. PLEASE NOTE: THE ELECTRICAL SHEETS ARE NOT SIGNED, SEALED NOR CERTIFIED BY THE EOR OR SDG.
- ALL COMPONENT LOCATIONS AS SHOWN MAY BE CHANGED AT THE SOLE DISCRETION OF BUILDER OR THEIR LICENSED CONTRACTOR IN ORDER TO COMPLY WITH ANY AND ALL GOVERNING CODE REQUIREMENTS.
- ELECTRICAL CONTRACTOR SHALL PROVIDE ALL ELECTRICAL PERMITS. ALL APPLICABLE INFORMATION REQUIRED TO OBTAIN PERMITS AND IS RESPONSIBLE FOR THE INSTALLATION, OPERATION AND HANDLING OF ALL ELECTRICAL COMPONENTS.

WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR DIMENSIONS AND CONDITIONS OF THE ENTIRE BUILD-OUT. SIRILLA DESIGN GROUP MUST BE NOTIFIED IN WRITING OF ANY VARIATION FROM THE DIMENSIONS, CONDITIONS AND SPECIFICATIONS APPEARING ON THESE PLANS, UNLESS NOTED OTHERWISE, IN ORDER TO PROVIDE THE CORRECT REVISION DOCUMENTATION PRIOR TO CONSTRUCTION OF ANY COMPONENT WITHIN THE STRUCTURE. WITHOUT THE APPROPRIATE DOCUMENTATION AND COMMUNICATION FROM EITHER BUILDER AND/OR CONTRACTOR AND THEIR SUBS, SAID INDIVIDUALS AND THEIR BUSINESSES DO HOLD SIRILLA DESIGN GROUP HARMLESS OF ANY LIABILITY.

ISSUANCE, SIGN, AND SEAL CERTIFICATION OF THIS PLAN SET DOES NOT RELIEVE THE BUILDER AND THEIR SUBS AND/OR TRADES PARTNERS RESPONSIBILITY TO REVIEW AND VERIFY ADHERENCE TO ANY APPLICABLE CODES OF THE GOVERNING MUNICIPALITY PRIOR TO COMMENCEMENT. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF SIRILLA DESIGN GROUP AND ALBA ENGINEERING PRIOR TO COMMENCEMENT.

ALL THIRD PARTY INFORMATION, SHOP DRAWINGS, AND COMPONENT ASSEMBLY LAYOUTS MUST BE REVIEWED AND APPROVED BY SIRILLA DESIGN GROUP AND ALBA ENGINEERING PRIOR TO PERMIT REQUEST SUBMISSION AND CONSTRUCTION OR ASSEMBLY OF THESE COMPONENT ASSEMBLIES.

UPON DELIVERY OF THE DESIGN PLAN SET WITH CURRENT OR PAST DESIGNS FOR THIS PROJECT, BID PLAN SET AND OR THE FINAL SEALED CONSTRUCTION DRAWINGS TO THE OWNER / CLIENT, BUILDER AND GENERAL CONTRACTOR, THE DESIGNER GRANTS THE CLIENT A NONTRANSFERABLE, NONEXCLUSIVE RIGHT TO CONSTRUCT THE BUILDING AS DEPICTED IN THE PLANS ONCE AND ONLY ONCE, AND ONLY ON THE SITE AS IDENTIFIED WITHIN THIS PLAN SET. ALL PLANS, SPECIFICATIONS, AND DESIGN ELEMENT WORKS FOR THIS BUILDING AT ISSUE, AS AFOREMENTIONED, ARE THE SOLE PROPERTY OF SIRILLA DESIGN GROUP, LLC AND MAY NOT BE USED IN ANY FASHION BY ANY THIRD PARTIES ON A DIFFERENT SITE LOCATION OTHER THAN THE SITE LOCATION AS SPECIFIED HEREIN. BY ACCEPTANCE AND RECEIPT OF THIS PLAN CONTAINING THE DESIGN OF THIS HOME ALL PARTIES, THIRD PARTIES AND AFFILIATES AGREE THAT THIS DOES NOT CREATE ANY EXPRESS OR IMPLIED LICENSE FOR THEM OR ANYONE ELSE WHO MAY HAVE ACCESS TO THIS PLAN AND THE DESIGN HEREIN TO USE SUCH PLANS, SPECIFICATIONS, OR BUILDING DESIGN WORKS EXCEPT AS EXPLICITLY SET FORTH HEREIN INCLUDING ANY REUSE, MODIFICATION, OR CONSTRUCTION BY OTHERS OR AFFILIATED PARTIES ON A SITE DIFFERENT FROM THE SPECIFIED SITE LISTED ON THE TITLE BLOCK AND COVER PAGE.

PLUMBING

- IT IS THE SOLE RESPONSIBILITY OF THE PLUMBER TO VERIFY THE ACCURACY OF PLUMBING FIXTURE LOCATIONS AS DEPICTED IN THIS SET OF PLANS. VERIFY THE ACCURACY OF THE SUPPLY AND WASTE LINE SIZE, AND VERIFY CLEARANCES AROUND PLUMBING ASSEMBLIES COMPLY WITH MINIMUM CODE STANDARDS.
- ALL PLUMBING DIMENSIONS ARE APPROXIMATE FROM THE CENTER LINE OF THE FIXTURE TO THE EXTERIOR SLAB EDGE.
- ALL COMPONENT LOCATIONS AS SHOWN MAY BE CHANGED AT THE SOLE DISCRETION OF BUILDER OR THEIR LICENSED CONTRACTOR IN ORDER TO COMPLY WITH ANY GOVERNING MUNICIPALITY CODE REQUIREMENTS. HOWEVER, CHANGES NEEDED SHALL BE BROUGHT TO THE ATTENTION OF SDG IN WRITING PRIOR TO COMMENCEMENT.
- CONTRACTOR SHALL PROVIDE ALL PLUMBING PERMITS. ALL APPLICABLE INFORMATION REQUIRED TO OBTAIN PERMITS, AND IS RESPONSIBLE FOR THE INSTALLATION, OPERATION AND HANDLING OF ALL PLUMBING COMPONENTS AND ASSEMBLIES.

MECHANICAL / HVAC

- ENERGY CALCULATIONS FOR HEATING AND COOLING CAPACITIES AND FULL SCALE DUCT & VENTING LAYOUT SHALL BE FURNISHED BY OTHERS AS AN ATTACHMENT TO THIS PLAN SET AT THE TIME OF APPLICATION FOR PERMIT.
- MECHANICAL APPLIANCES SHALL BE ACCESSIBLE FOR INSPECTION, SERVICE, REPAIR, AND REPLACEMENT WITHOUT REMOVING PERMANENT CONSTRUCTION, OTHER APPLIANCES, OR ANY OTHER PIPING OR DUCTS NOT CONNECTED TO THE APPLIANCE BEING INSPECTED, SERVICED, REPAIRED, OR REPLACED. A LEVEL WORKING SPACE AT LEAST 30 INCHES (762 mm) DEEP AND 30 INCHES (762 mm) WIDE SHALL BE PROVIDED IN FRONT OF THE CONTROL SIDE TO SERVICE AN APPLIANCE.
- DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MIN. #26 GAUGE (0.48 mm) SHEET STEEL OR 1" MIN. RIGID NON-METALLIC CLASS 0 OR CLASS 1 DUCTBOARD OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE.
- FOUNDATIONS AND SUPPORTS FOR OUTDOOR MECHANICAL SYSTEMS SHALL BE RAISED AT LEAST 3 INCHES (76 mm) ABOVE THE FINISHED GRADE AND SHALL ALSO CONFORM TO THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- AUXILIARY DRAIN PAN. CATEGORY IV CONDENSING APPLIANCES SHALL BE PROVIDED WITH AN AUXILIARY DRAIN PAN WHERE DAMAGE TO ANY BUILDING COMPONENT WILL OCCUR AS A RESULT OF STOPPAGE IN THE CONDENSATE DRAIN PIPING SYSTEM. THESE PANS SHALL BE INSTALLED IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF SECTIONS M1411.3.

EXHAUST VENTILATION

- OUTDOOR DISCHARGE:** THE AIR REMOVED BY EVERY MECHANICAL EXHAUST SYSTEM SHALL BE DISCHARGED TO THE OUTDOORS. AIR SHALL NOT BE EXHAUSTED INTO AN ATTIC, SOFFIT, RIDGE VENT OR CRAWL SPACE.
- EXHAUST AIR FROM BATH ROOMS AND TOILET ROOMS SHALL NOT BE RE-CIRCULATED WITHIN A RESIDENCE OR TO ANOTHER DWELLING UNIT AND SHALL BE EXHAUSTED DIRECTLY TO THE OUTDOORS. EXHAUST AIR FROM BATHROOMS AND TOILET ROOMS SHALL NOT DISCHARGE INTO AN ATTIC, CRAWL SPACE, OR OTHER AREAS INSIDE THE BUILDING.

- ATTIC ACCESS HATCH SHALL BE A MINIMUM OF 22" x 30", WITH WEATHER STRIPPING AROUND OPENING, AND 30" MINIMUM HEADROOM. ACCESS LID SHALL HAVE R-30 INSULATION BACKING.

TUB & SHOWER AREA TILE

- CEMENT, FIBER-CEMENT, OR GLASS MAT GYPSUM BOARD (NO GREEN BOARD ALLOWED) IN COMPLIANCE WITH ASTM C1288, C1325, OR C1178 AND INSTALLED IN ACCORDANCE WITH MANUFACTURER REQUIREMENTS SHALL BE USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS, AND WALL PANELS IN SHOWER AND WET AREAS.

GYPSUM

- USE 1/2" CEILING OR SAG RESISTANT BOARD FOR 24" O.C. FRAMING. UNLESS OTHERWISE SPECIFIED, CONTRACTOR TO ENSURE THE PROPER SPAN RATING FOR THE MATERIALS CHOSEN.
- 5/8" TYPE-X" GYPSUM BOARD SHALL BE USED ON CEILING IN GARAGE WHEN LIVING SPACE IS ABOVE THE GARAGE. TAPE AND SEAL ALL JOINTS TO BE GAS AND FUME TIGHT.
- ALL APPLICATIONS OF GYPSUM SHALL COMPLY WITH FBC R702.3 AND ALL APPLICABLE SUB CATEGORIES.

STUCCO APPLICATION

- THE BUILDER AND THEIR SUBS ARE RESPONSIBLE FOR CHOOSING THE EXACT MATERIALS AND ASSEMBLIES AS DEPICTED WITHIN THE F.B.C. RESIDENTIAL R703, ASTM C1063, ASTM C926 ALL LOCAL GOVERNING MUNICIPALITY REQUIREMENTS, AND AS DEPICTED FURTHER WITHIN THE ASTM DOCUMENTS SUBCATEGORY STANDARDS (i.e. C847, C926, ETC.) FOR APPROPRIATE ASSEMBLIES IN APPLICABLE OR RELATED APPLICATION LOCATIONS.
- ALL EXTERIOR FRAME WALL STUCCO FINISH SHALL HAVE A 7/8" OVERALL FINISH AS PER ASTM C 926 AND F.B.C. RESIDENTIAL R702.1(1). APPLY IN LAYERS WITH A TOTAL THICKNESS 7/8" OVER METAL LATH. MEASURES SHALL BE TAKEN TO PREVENT BONDING BETWEEN THE CEMENT PLASTER AND THE WATER RESISTIVE BARRIER. A BOND BREAK SHALL BE PROVIDED BETWEEN THE WATER-RESISTIVE BARRIER AND THE CEMENT PLASTER (STUCCO) CONSISTING OF ONE OF THE FOLLOWING:
 - TWO LAYERS OF AN APPROVED WATER-RESISTIVE BARRIER MATERIAL; OR
 - ONE LAYER OF AN APPROVED WATER-RESISTIVE BARRIER OVER AN APPROVED PLASTIC HOUSE WRAP; OR
 - OTHER APPROVED METHODS OR MATERIALS APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- THE APPLICATION REQUIREMENTS OF THE PAPER-BACKED LATH SHALL BE PER F.B.C. RESIDENTIAL R703.7.1 AND ASTM C 1063, AND AS DEPICTED FURTHER WITHIN THAT DOCUMENTS SUBCATEGORY STANDARDS.
- ALL EXTERIOR CONCRETE WALL SYSTEMS, INCLUDING CONCRETE MASONRY UNITS, CONTAINING A STUCCO FINISH SHALL BE 9/8" THICK MINIMUM.
- WEEP SCREED, STOP FLASHING, FLASHING, COUNTER FLASHING, EXPANSION AND CONTROL JOINT MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

WATER RESISTIVE BARRIERS [R703.7.3]

WATER-RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION R703.2 AND, WHERE APPLIED OVER WOOD-BASED SHEATHING, SHALL INCLUDE A WATER-RESISTIVE VAPOR-PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER. THE INDIVIDUAL LAYERS SHALL BE INSTALLED INDEPENDENTLY SUCH THAT EACH LAYER PROVIDES A SEPARATE CONTINUOUS PLANE AND ANY FLASHING (INSTALLED IN ACCORDANCE WITH SECTION R703.4) INTENDED TO DRAIN TO THE WATER-RESISTIVE BARRIER IS DIRECTED BETWEEN THE LAYERS.

EXCEPTION: WHERE THE WATER-RESISTIVE BARRIER THAT IS APPLIED OVER WOOD-BASED SHEATHING HAS A WATER RESISTANCE EQUAL TO OR GREATER THAN THAT OF 60-MINUTE GRADE D PAPER AND IS SEPARATED FROM THE STUCCO BY AN INTERVENING, SUBSTANTIALLY NONWATER-ABSORBING LAYER OR DESIGNED DRAINAGE SPACE.

ROOF SHINGLE, TILE AND METAL ROOFING FINISHES

- ROOF SHINGLE SHALL BE INSTALLED IN ACCORDANCE WITH FBC SECTION R905 AND R905.3 AND AS PER MANUFACTURER'S SPECIFICATIONS.
- ALL INSTALLATION SPECIFICATIONS AND MANUFACTURER'S REQUIREMENTS SHALL BE CHOSEN AND SUBMITTED BY THE BUILDER.
- ALL MANUFACTURER SPECIFICATIONS THAT MAY CONFLICT WITH THIS CONSTRUCTION DOCUMENT REQUIREMENTS MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD **PRIOR** TO INSTALLATION COMMENCEMENT OF ANY MATERIALS.

FLASHING

- THE BUILDER AND THEIR SUBS ARE RESPONSIBLE FOR CHOOSING THE EXACT MATERIALS AND ASSEMBLIES AS DEPICTED WITHIN FBC AND AS DEPICTED FURTHER WITHIN THAT DOCUMENTS SUBCATEGORY STANDARDS FOR APPROPRIATE ASSEMBLIES IN RELATED APPLICATION LOCATIONS.
- APPROVED CORROSION-RESISTANT FLASHING SHALL BE INSTALLED AT ALL REQUIRED LOCATIONS PER (R703 & R903). ALL ROOF AND WALL INTERSECTIONS, ALL WALL AND DECK INTERSECTIONS, AT GUTTERS, AT ALL CHANGES IN ROOF SLOPE OR DIRECTION, AND AROUND ALL ROOF PENETRATIONS AND OPENINGS.
- APPROVED CORROSION-RESISTANT FLASHING SHALL BE APPLIED IN A SHINGLE FASHION IN SUCH A MANNER AS TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS.
- PROVIDE FLASHING, COUNTER FLASHING, BACKER RODS, TOP QUALITY SEALANT AND/OR WATER PROOFING SYSTEMS TO ENSURE WATER PROOF OF ALL JOINTS AND INTERSECTIONS OF ALL MATERIALS, SIMILAR OR DISSIMILAR AS REQUIRED.

TERMITE PROTECTION

- THE SOIL UNDER THIS STRUCTURE SHALL BE TREATED FOR THE PREVENTION OF SUBTERRANEAN TERMITES, OR A PERIMETER TREATMENT (BORACARE) MAY BE USED, IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.

WINDOW AND DOOR

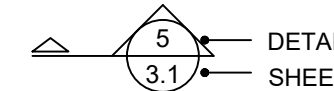
- ALL DOOR AND WINDOW ASSEMBLIES AND INSTALLATIONS SHALL MEET OR EXCEED THE REQUIREMENTS OF THE FLORIDA BUILDING CODE (RESIDENTIAL), LATEST EDITION AND THE ENERGY EFFICIENCY CODE, LATEST EDITION.
- WINDOW AND DOOR INSTALLATION IS THE RESPONSIBILITY OF THE BUILDER AND THEIR SUBCONTRACTOR(S) AS PER THEIR CHOSEN WINDOW MANUFACTURER'S INSTALLATION REQUIREMENTS TO MEET DESIGN PRESSURES AND MUST HAVE A TESTED, FLORIDA APPROVAL NUMBER ISSUED, SIGNED AND SEALED BY A LICENSED ENGINEER FROM THE STATE OF FLORIDA AS HIRED BY THE MANUFACTURER.
- THE DESIGN PRESSURE SHOWN ON THE STRUCTURAL PLAN IS SHALL BE USED AS A GUIDELINE FOR PROPER WINDOW AND DOOR DESIGN SELECTION CRITERIA.
- THE BUILDER MUST PROVIDE AFOREMENTIONED ENGINEERED PRODUCT LITERATURE AND INSTALLATION DETAILS FROM THE MANUFACTURER FOR ALL EXTERIOR DOORS (INCLUDING OVERHEAD GARAGE DOORS) AND WINDOWS. THIS MUST BE AVAILABLE ON SITE IN THE PERMIT BOX FOR THE USE OF THE BUILDING INSPECTION OFFICIAL.
- THE BUILDER MUST PROVIDE A METAL THRESHOLD AT ALL EXTERIOR DOORS TYPICAL UNLESS NOTED OTHERWISE.
- PROVIDE TEMPERED GLASS AND/OR LAMINATED SAFETY GLAZING PER FBC-R308.4
- ALL DOORS LEADING FROM THE GARAGE TO THE INTERIOR SPACE SHALL BE SOLID CORE OR AS ACCEPTED AS PER FBC (IF APPLICABLE).
- EGRESS NOTE: ALL EGRESS WINDOWS SHALL COMPLY AS PER THE FLORIDA BUILDING CODE REQUIREMENTS, MEANS OF EGRESS.

INSULATION

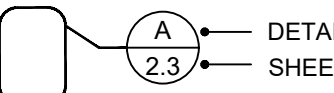
- WALLS WHICH SEPARATE CONDITIONED LIVING SPACE FROM UNCONDITIONED SPACE SHALL BE INSULATED AS PER FBC REQUIREMENTS.
- CEILINGS WHICH SEPARATE CONDITIONED LIVING SPACE FROM UNCONDITIONED ATTIC SPACE SHALL BE INSULATED (VENTILATED ATTIC SYSTEM).
- OR WHEN INSULATING WITH SPRAY FOAM SYSTEMS - INSULATION SHALL BE APPLIED TO THE UNDERSIDE OF THE ROOF DECK OR TO THE UPPER SIDE OF THE FLOOR SYSTEM.
- INSULATION R-VALUES ARE PER CLIMATE ZONE AND FBC-R TABLE R402.1.2 AS WELL AS PER ENERGY FORM CREATED BY OTHERS, SUBMITTED BY OTHERS WITH PERMIT APPLICATION.
- THE MINIMUM R-VALUE SHALL BE INSTALLED IN ALL AFOREMENTIONED AREAS AS PER ALL APPLICABLE GOVERNING MUNICIPALITY'S ADOPTED BUILDING CODES AND ORDINANCES.

SYMBOLS LEGEND:

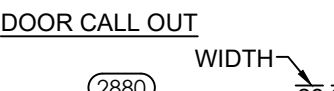
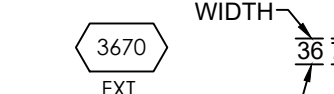
SECTION / DETAIL CALL OUT



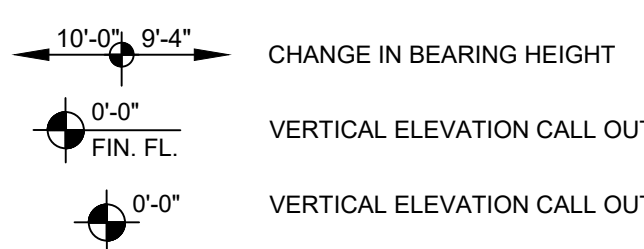
DETAIL CALL OUT



WINDOW CALL OUT



ELEVATION CHANGE SYMBOLS



STRUCTURAL ENGINEER OF RECORD:

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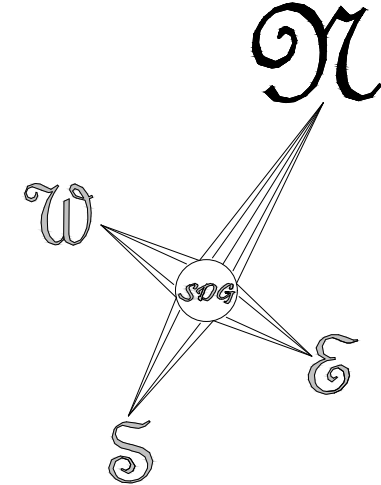
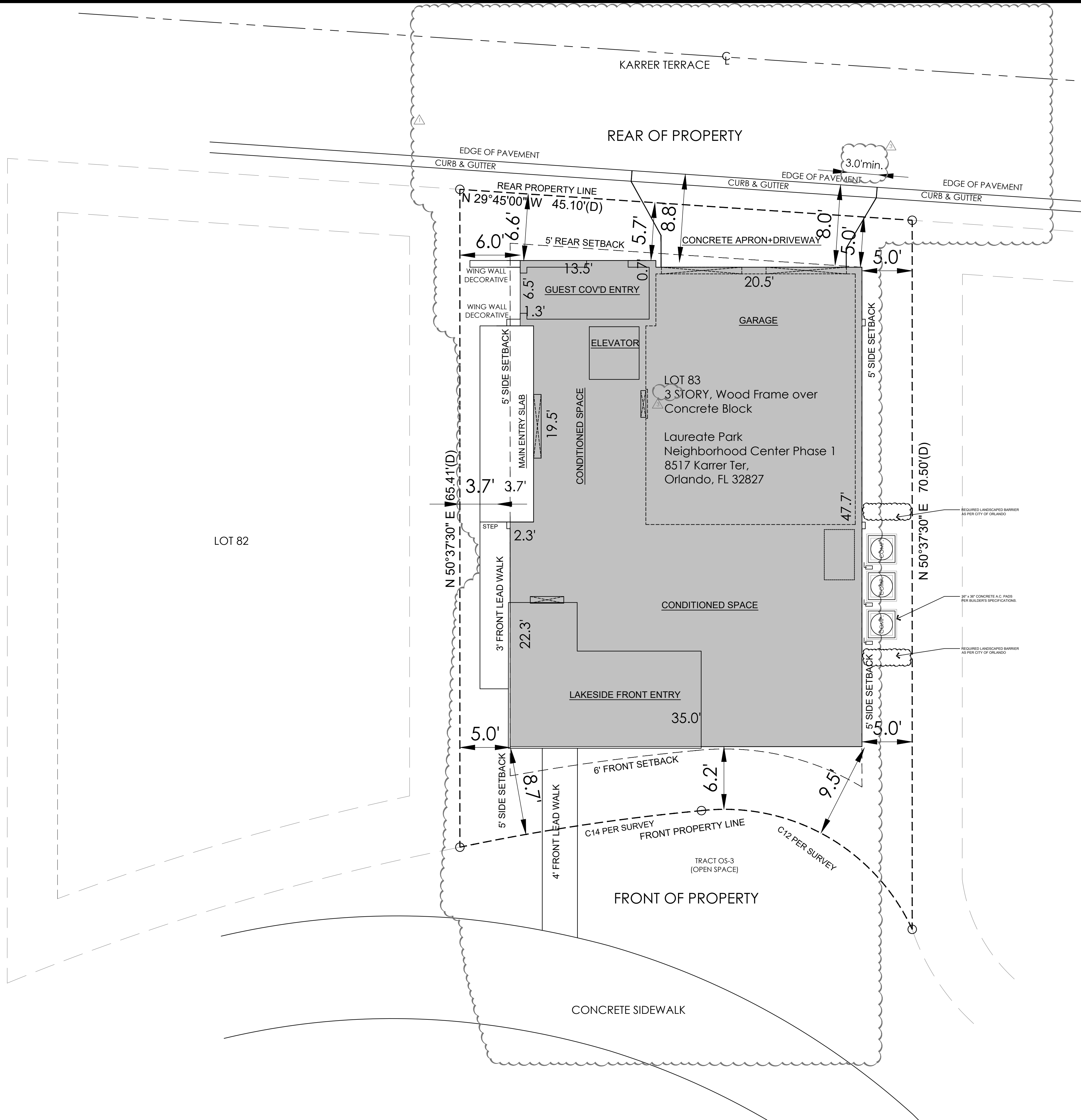
REVISIONS:	Mark	Comments	11-14-2024
1	Plan Review Comments	11-14-2024	11-14-2024
2	Plan Review Comments	12-06-2024	12-06-2024
3	Plan Review Comments	12-31-2024	01-02-2025
4	Builder's Plan Review Update	05-19-2025	05-19-2025

Custom Home
Laureate Park
Neighborhood Center Phase 1
8517 Karrer Ter,
Orlando, FL 32827

Project No.:	24-005
Designed By:	Joseph D. Sirilla
Drawn By:	JDS/KC
Checked By:	DS
Date of Print:	06 / 18 / 2026
Date of Production:	01 / 23 / 2024

Sheet Number:

0.0



NOT A SURVEY
SITE LAYOUT PLAN
FOR HOUSE LOCATION ONLY

NOTES:

- This Site Layout Plan is presented for informational purposes of building location only and **shall not be** viewed as a Survey, Landscape Site Plan, Irrigation Plan, Paving Plan, Grading Plan, Drainage Plan, or Utility / Civil Engineered Plan.
- All boundary, setback, easement, utility and existing permanent object information as shown was supplied to Sirilla Design Group, LLC via a Mortgage Survey furnished by the home owner. Please refer to submitted Survey for all Survey Data, Tree Location & finished floor information.
- If the home's interior finished floor elevation, Survey or Topography, Landscape Site Plan, Irrigation Plan, Paving Plan, Grading Plan, Drainage Plan, or Utility / Civil Engineered Plan is required by the A.H.J., it shall be provided by others as a separate attachment to the permit plan set package and shall be reviewed and approved by the Project Designer of Record prior to permit submission and installation.
- Any sidewalks or curbing disturbed by the work shall be restored to the condition of the original structure. Sidewalk panels shall be restored to full panel widths and lengths (defined by edges of the sidewalk and the nearest control joints or expansion joints). Partial patching of sidewalks shall not be acceptable. Pavement finishes, thicknesses and grades shall match the existing sidewalk.
- Dimensions as shown are from building corners to their respective perpendicular locations along the boundary lines.
- Proposed fences and/or gates are *not* shown and shall be provided and submitted by others, when applicable.

Proposed Site Layout
Scale: 3/16" = 1'-0"

Sirilla
Design
Group
Innovation Has a New Home

Custom Residential
Home Design
(407) 480-8627
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www.sirilladesign.com

American Institute of
Building Design

STRUCTURAL ENGINEER OF RECORD:
alba
ENGINEERING
C.A. #00556

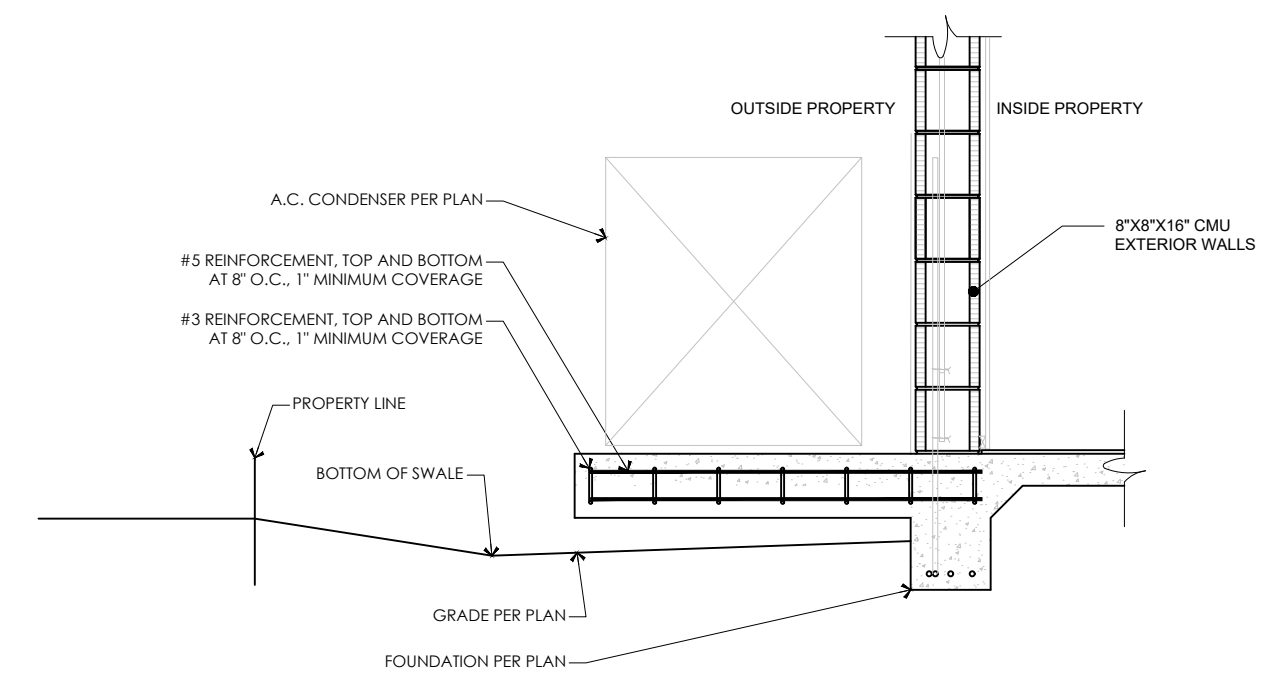
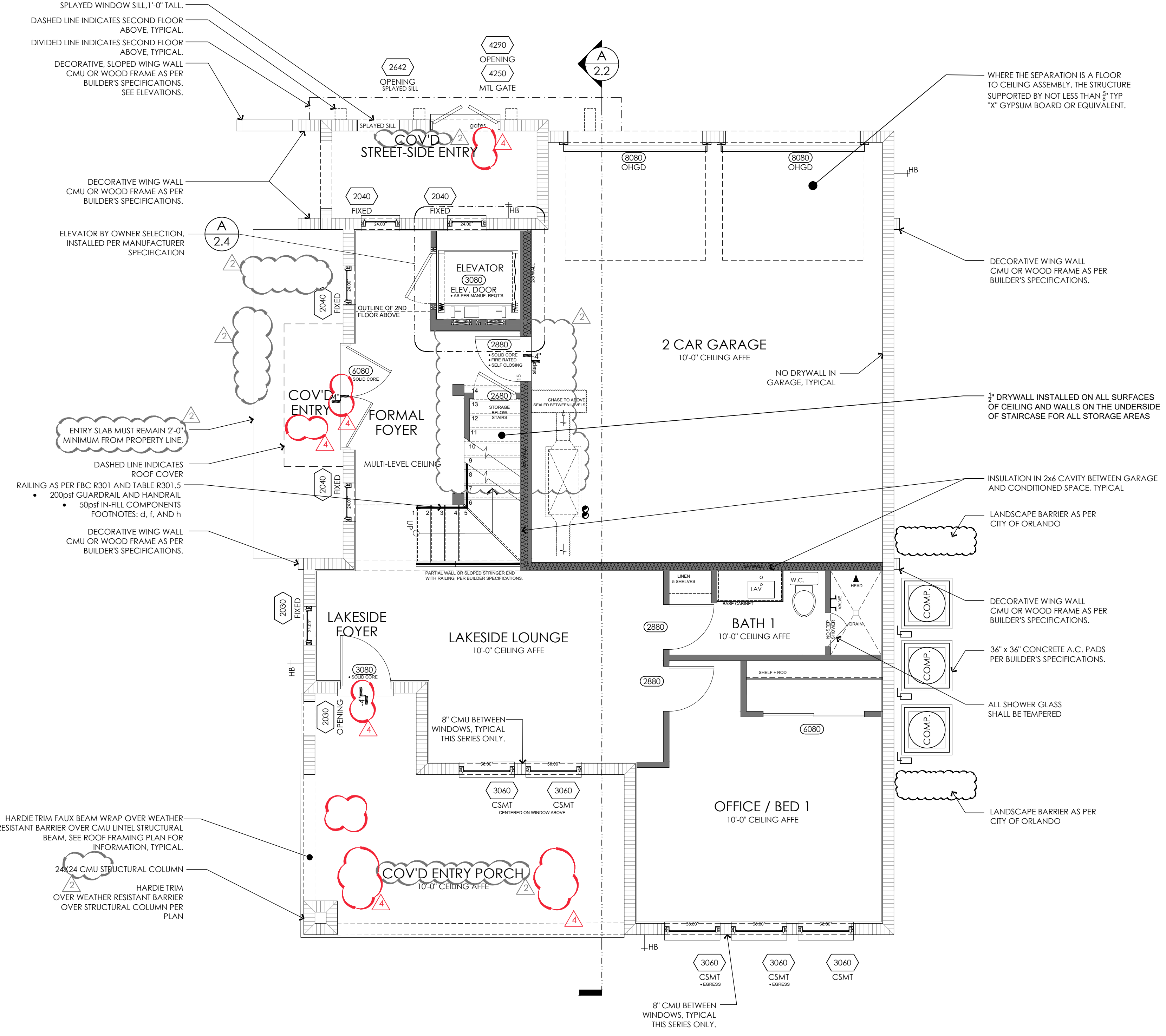
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REVISIONS:	Mark	Comments	Date
1		Plan Review Comments 11-14-2024	11-14-2024
2		Plan Review Comments 12-06-2024	12-06-2024
3		Plan Review Comments 12-31-2024	01-02-2025
4		Builder's Plan Review Update	05-19-2025

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Neighborhood Center Phase 1
8517 Karrer Ter,
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Sheet Number:
0.1



A.C. Platform
Scale: N.T.S.

AREA TABULATION	
1st FLOOR LIVING	844 SQ.FT.
2nd FLOOR LIVING	1408 SQ.FT.
3rd FLOOR LIVING	1474 SQ.FT.
4th FLOOR ATTIC	461 SQ.FT.
TOTAL CONDITIONED AREA	4187.0 SQ.FT.
GARAGE - 2 CAR	584 SQ.FT.
FRONT ENTRY	71 SQ.FT.
1st FLOOR REAR PORCH	232 SQ.FT.
2nd FLOOR REAR PORCH	200 SQ.FT.
3rd FLOOR REAR PORCH	192 SQ.FT.
TOTAL NON-CONDITIONED AREA	1279.0 SQ.FT.
TOTAL AREA UNDER ROOF	5466 SQ.FT.

ALL DIMENSIONS SHOWN ARE EXCLUDING DRYWALL.

ALL DIMENSIONS ARE TO BE FIELD VERIFIED, BUT FOLLOWED AS DEPICTED. DIMENSIONS SHALL BE USED IN LIEU OF SCALING WHENEVER POSSIBLE.

NOTES INDICATING TYPICAL CONDITIONS SHALL APPLY TO ALL LIKE AREAS UNLESS NOTED OTHERWISE.

ALL MATERIALS AND COMPONENTS SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS AND AS PER APPLICABLE CODE REQUIREMENTS FOR THE PROJECT LOCATION.

WINDOW AND DOOR SUPPLIERS SHALL PROVIDE ALL CURRENT ROUGH OPENING INFORMATION, SIZE REQUIREMENTS, GLAZING REQUIREMENTS AND FUNCTION REQUIREMENTS AS PER APPLICABLE CODE REQUIREMENTS FOR THE PROJECT LOCATION AND ALL INFORMATION SHALL TAKE PRECEDENCE OVER THE INFORMATION WITHIN THIS PLAN SET.

CABINET MANUFACTURER'S DESIGN DRAWINGS SHALL HAVE PRECEDENCE OVER THE CABINET LAYOUTS AS DEPICTED HEREIN.

BLOCKING SHALL BE INSTALLED FOR CABINETS IN KITCHEN AND ALL BATHROOMS. ALL BLOCKING HEIGHTS SHALL BE SPECIFIED BY CABINET MANUFACTURER'S DESIGN DRAWINGS.

THIS SHEET SHALL BE READ IN CONJUNCTION WITH COVER SHEET GENERAL PROJECT NOTES, AND ALL SHEETS WITHIN THIS PERMIT PLAN SET.

ALL INTERIOR CONDITIONED SPACE WALL SYSTEMS SHALL RECEIVE 1/2" DRYWALL ON ALL SURFACES.

THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NO LESS THAN 1/2" NON SAG GYPSUM BOARD INSTALLED TO THE GARAGE SIDE.

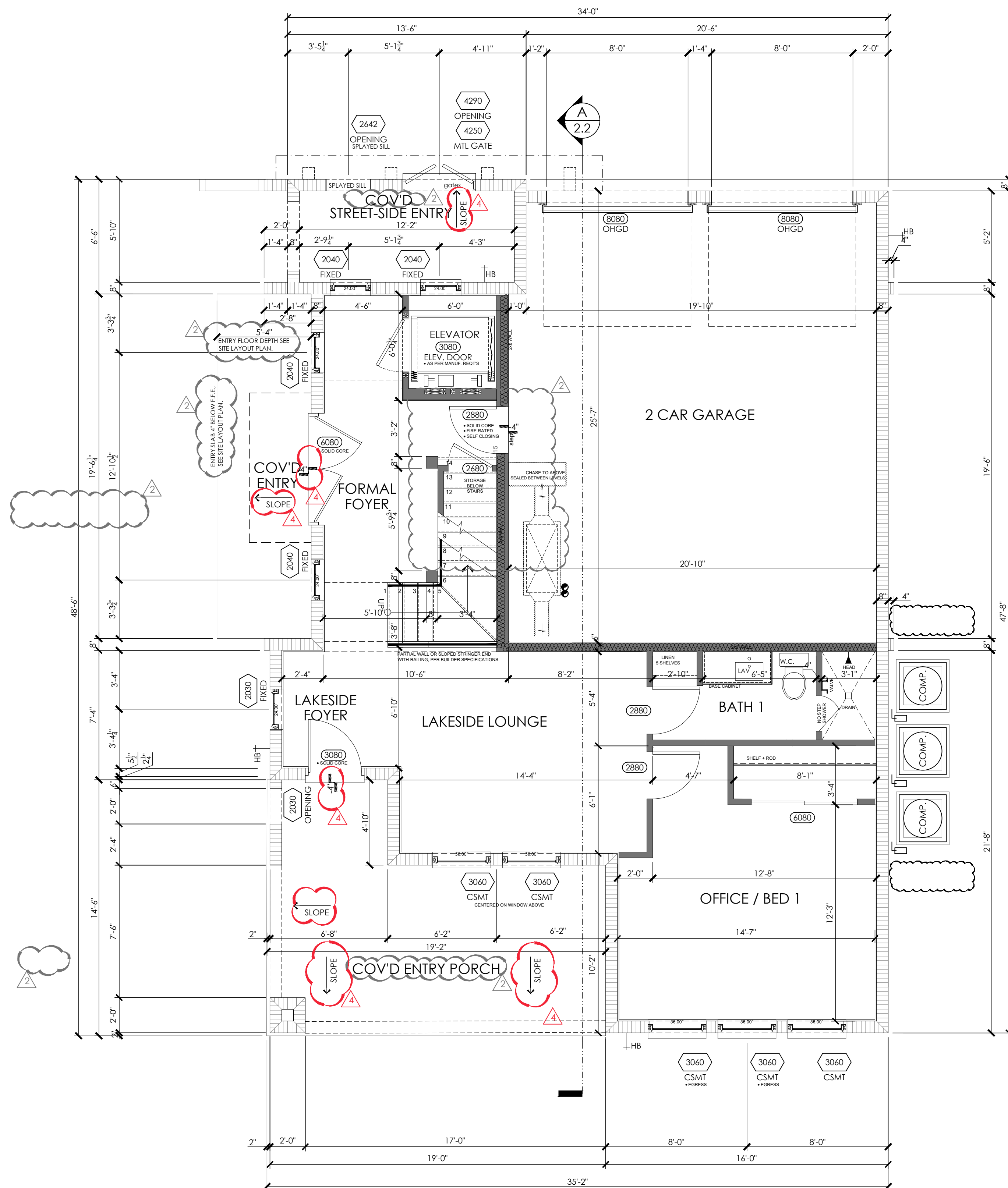
WHERE THE SEPARATION IS A FLOOR TO CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL BE PROTECTED BY NOT LESS THAN 5/8" TYPE "X" GYPSUM BOARD OR EQUIVALENT.

TEMPERED GLAZING AT ALL HAZARDOUS LOCATIONS.

THE DOOR LEADING FROM THE GARAGE SHALL BE SOLID CORE, 20 MINUTE RATED.

ANY ERRORS, DISCREPANCIES AND / OR OMISSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD PRIOR TO COMMENCEMENT OF CONSTRUCTION.

First Floor Plan - Notated
Scale: 1/4" = 1'-0"



AREA TABULATION

1st FLOOR LIVING	844	SQ. FT.
2nd FLOOR LIVING	1,408	SQ. FT.
3rd FLOOR LIVING	1,474	SQ. FT.
4th FLOOR ATTIC	461	SQ. FT.
TOTAL CONDITIONED AREA	4,187.0	SQ. FT.
GARAGE 2 CAR	584	SQ. FT.
FRONT ENTRY	71	SQ. FT.
1st FLOOR REAR PORCH	232	SQ. FT.
2nd FLOOR REAR PORCH	200	SQ. FT.
3rd FLOOR REAR PORCH	192	SQ. FT.
TOTAL NON-CONDITIONED AREA	1,279.0	SQ. FT.
TOTAL AREA UNDER ROOF	5,466	SQ. FT.

ALL DIMENSIONS SHOWN ARE EXCLUDING DRYWALL

ALL DIMENSIONS ARE TO BE FIELD VERIFIED, BUT FOLLOWED AS DEPICTED
DIMENSIONS SHALL BE USED IN LIEU OF SCALING WHENEVER POSSIBLE.

NOTES INDICATING TYPICAL CONDITIONS SHALL APPLY TO ALL LIKE AREAS UNLESS NOTED OTHERWISE.

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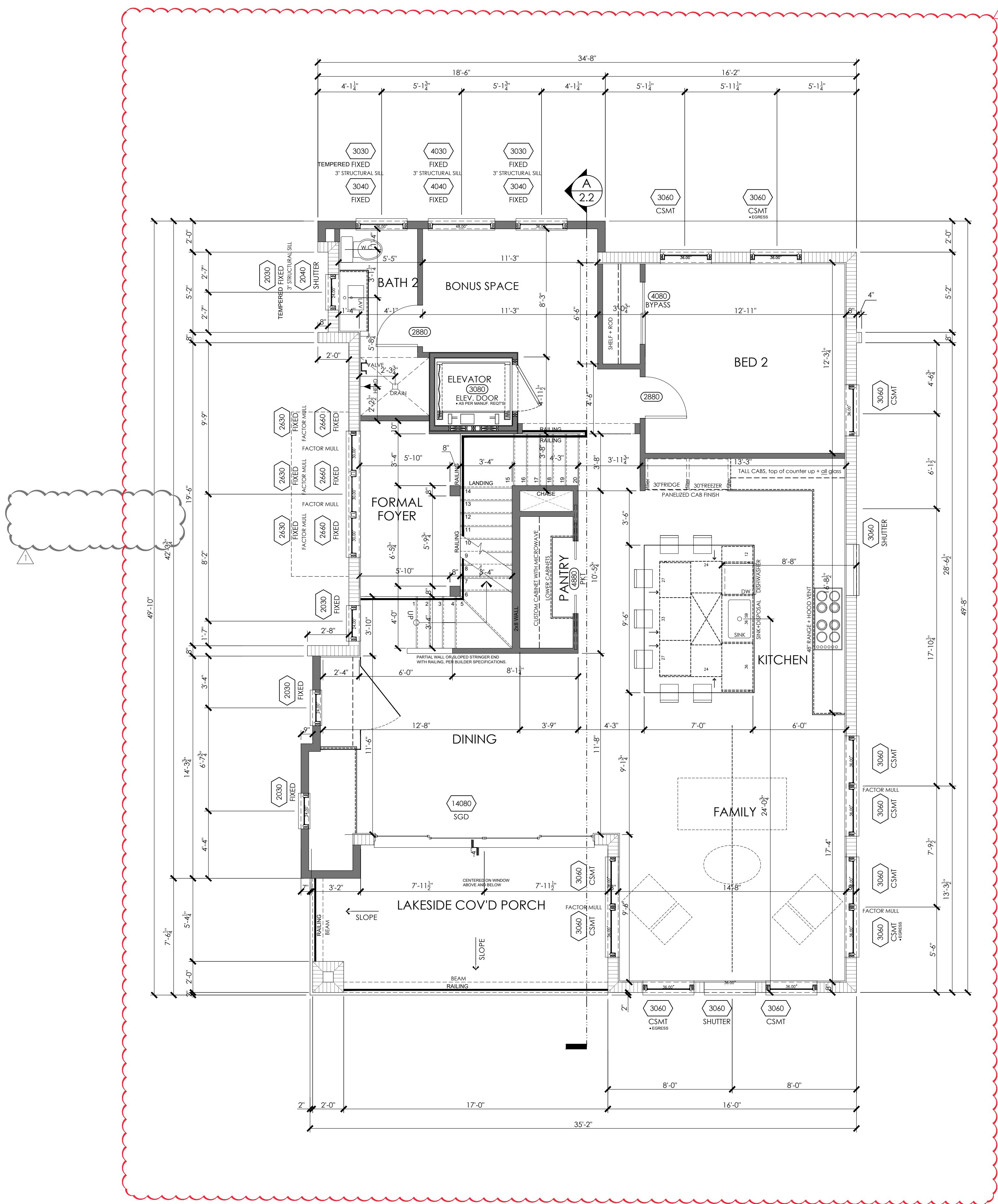
TEMPERED GLAZING AT ALL HAZARDOUS LOCATIONS.

THE DOOR LEADING FROM THE GARAGE SHALL BE SOLID CORE, 20 MINUTE RATED.

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First Floor Plan - Dimensioned

Scale: 1/4" = 1'-0"



AREA TABULATION		
1st FLOOR LIVING	844	SQ. FT.
2nd FLOOR LIVING	1408	SQ. FT.
3rd FLOOR LIVING	1474	SQ. FT.
4th FLOOR ATTIC	461	SQ. FT.
TOTAL CONDITIONED AREA	4187.0	SQ. FT.
GARAGE - 2 CAR	584	SQ. FT.
FRONT ENTRY	71	SQ. FT.
1st FLOOR REAR PORCH	232	SQ. FT.
2nd FLOOR REAR PORCH	200	SQ. FT.
3rd FLOOR REAR PORCH	192	SQ. FT.
TOTAL NON-CONDITIONED AREA	1279.0	SQ. FT.
TOTAL AREA UNDER ROOF	5466	SQ. FT.

ALL DIMENSIONS SHOWN ARE EXCLUDING DRYWALL.

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Second Floor Plan - Dimensioned

Scale: 1/4" = 1'-0"

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B

D

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BUILDING DESIGN

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Custom Home
Laureate Park
Neighborhood Center Phase 1

8517 Karrer Ter,
Orlando, FL 32827

Project No.: 24-005

Designed By: Joseph D. Sirilla

Drawn By: JDS/KC

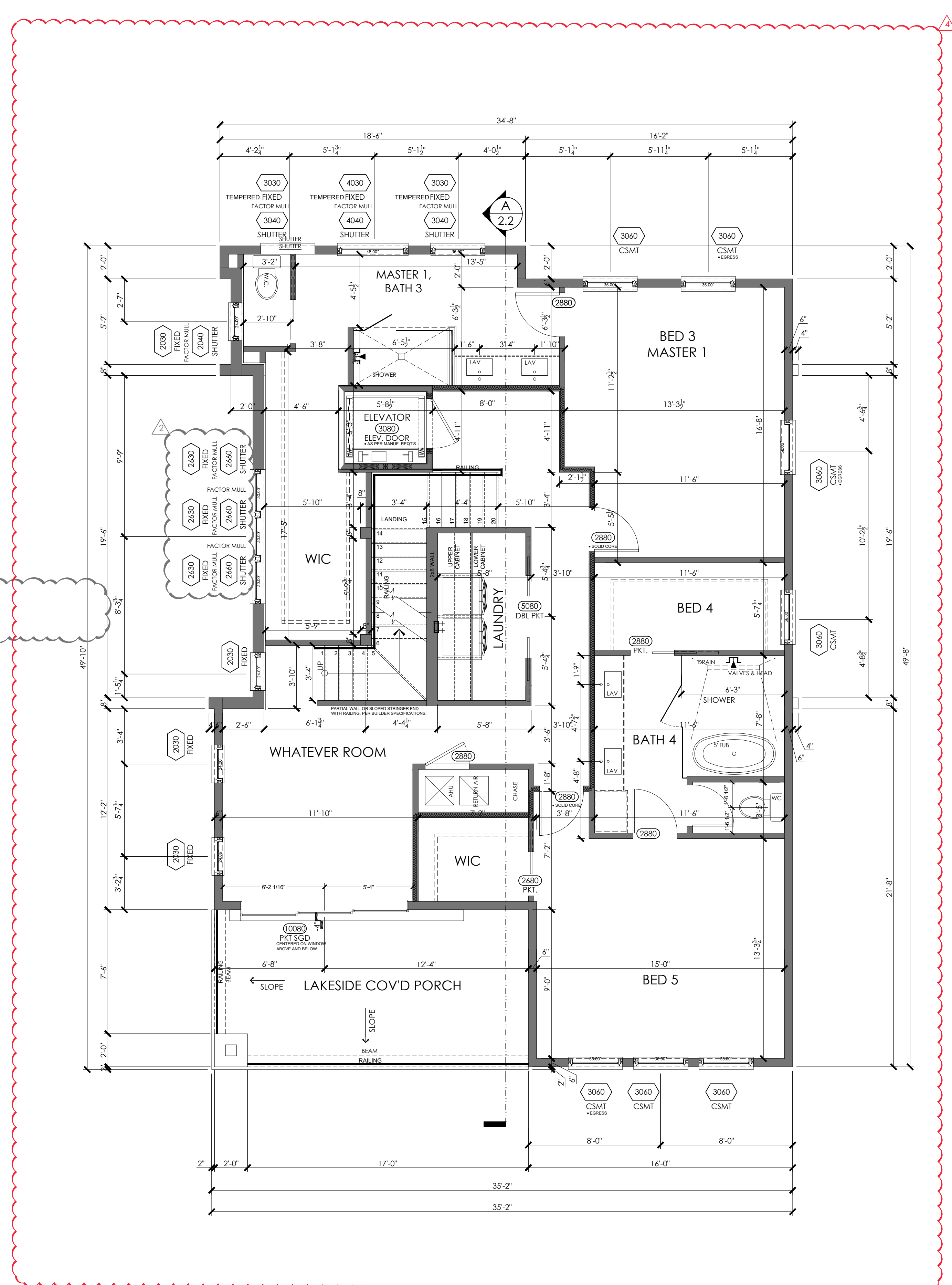
Checked By: DS

Date of Print: 06 / 18 / 2026

Date of Production: 01 / 23 / 2024

Sheet Number:

1.3



AREA TABULATION		
1st FLOOR LIVING	844	SQ.FT.
2nd FLOOR LIVING	1408	SQ.FT.
3rd FLOOR LIVING	1474	SQ.FT.
4th FLOOR ATTIC	461	SQ.FT.
TOTAL CONDITIONED AREA	4187.0	SQ.FT.
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FRONT ENTRY	71	SQ.FT.
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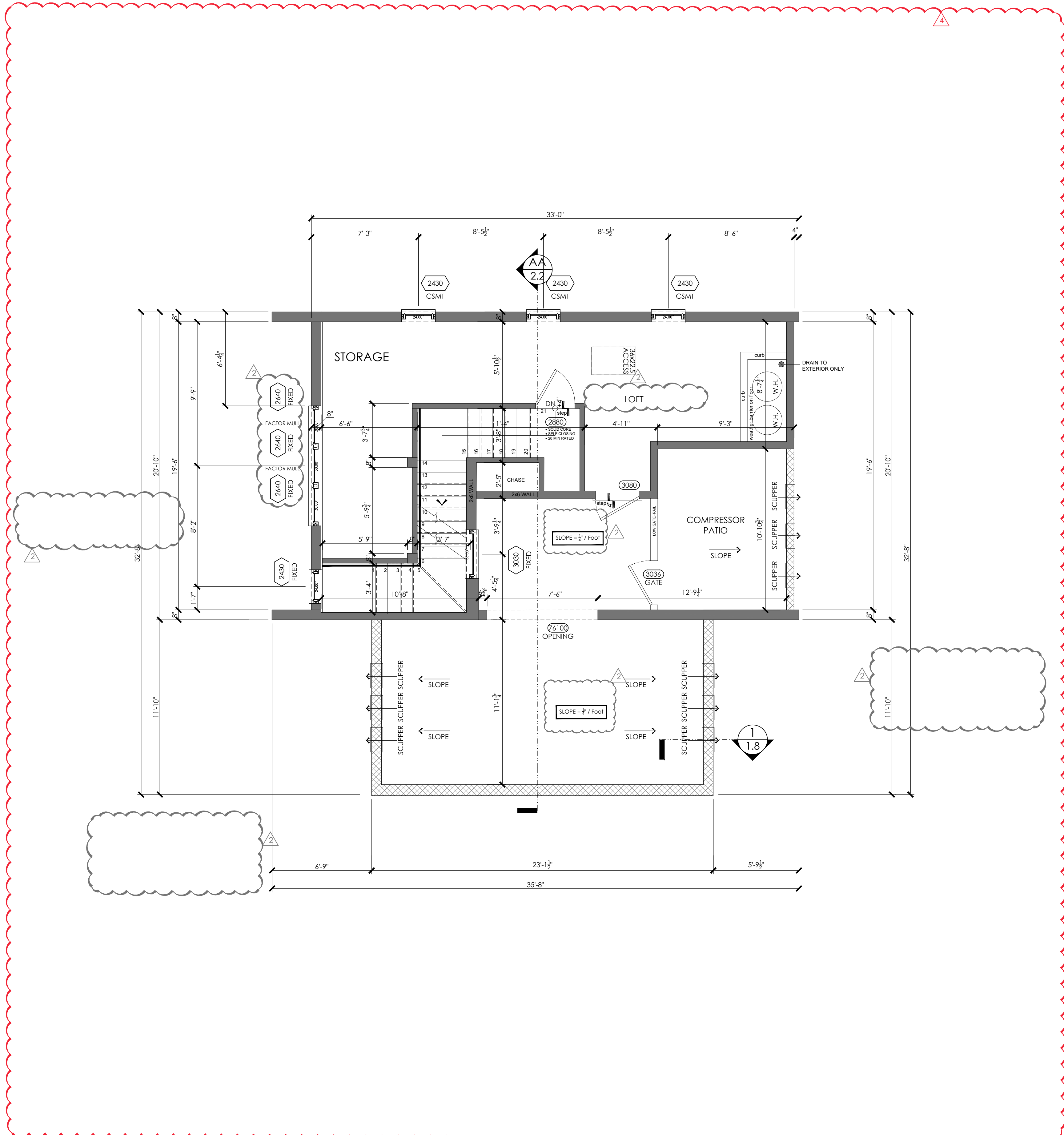
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Third Floor Plan - Dimensioned
Scale: 1/4" = 1'-0"



AREA TABULATION		
1st FLOOR LIVING	844	SQ. FT.
2nd FLOOR LIVING	1408	SQ. FT.
3rd FLOOR LIVING	1474	SQ. FT.
4th FLOOR ATTIC	461	SQ. FT.
TOTAL CONDITIONED AREA	4187.0	SQ. FT.
GARAGE - 2 CAR	584	SQ. FT.
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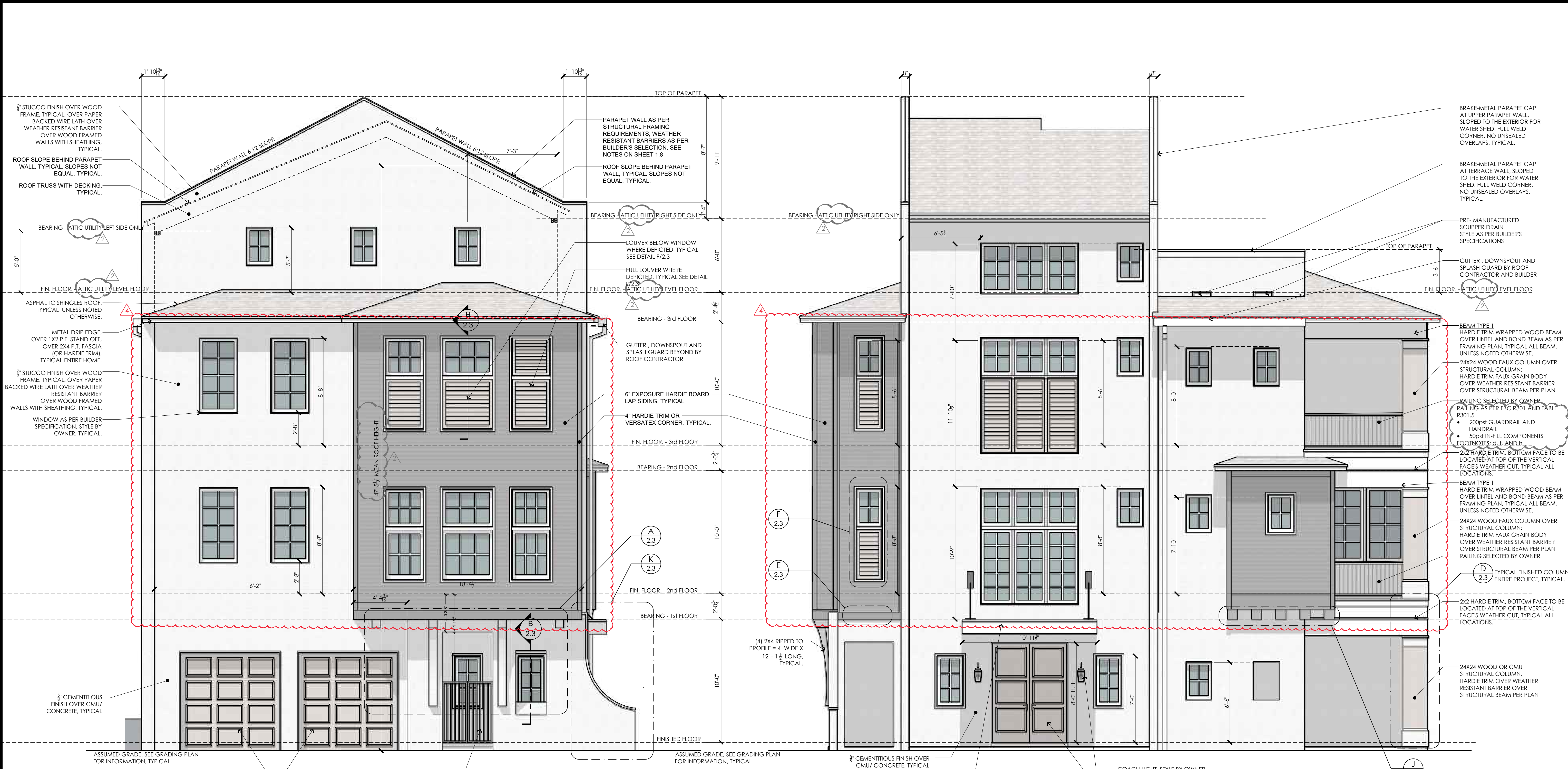
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3

4

Loft Floor Plan - Dimension

Scale: 1/4" = 1'-0"



Front Elevation
Scale: 1/4" = 1'-0"

Right Elevation
Scale: 1/4" = 1'-0"



Perspective Elevations
Scale: 1/4" = 1'-0"

STUCCO OVER WOOD FRAMING SHALL BE NO LESS THAN 3/8" OVER PAPER-BACKED WIRE LATH, OVER WEATHER RESISTANT BARRIER OVER SHEATHING.

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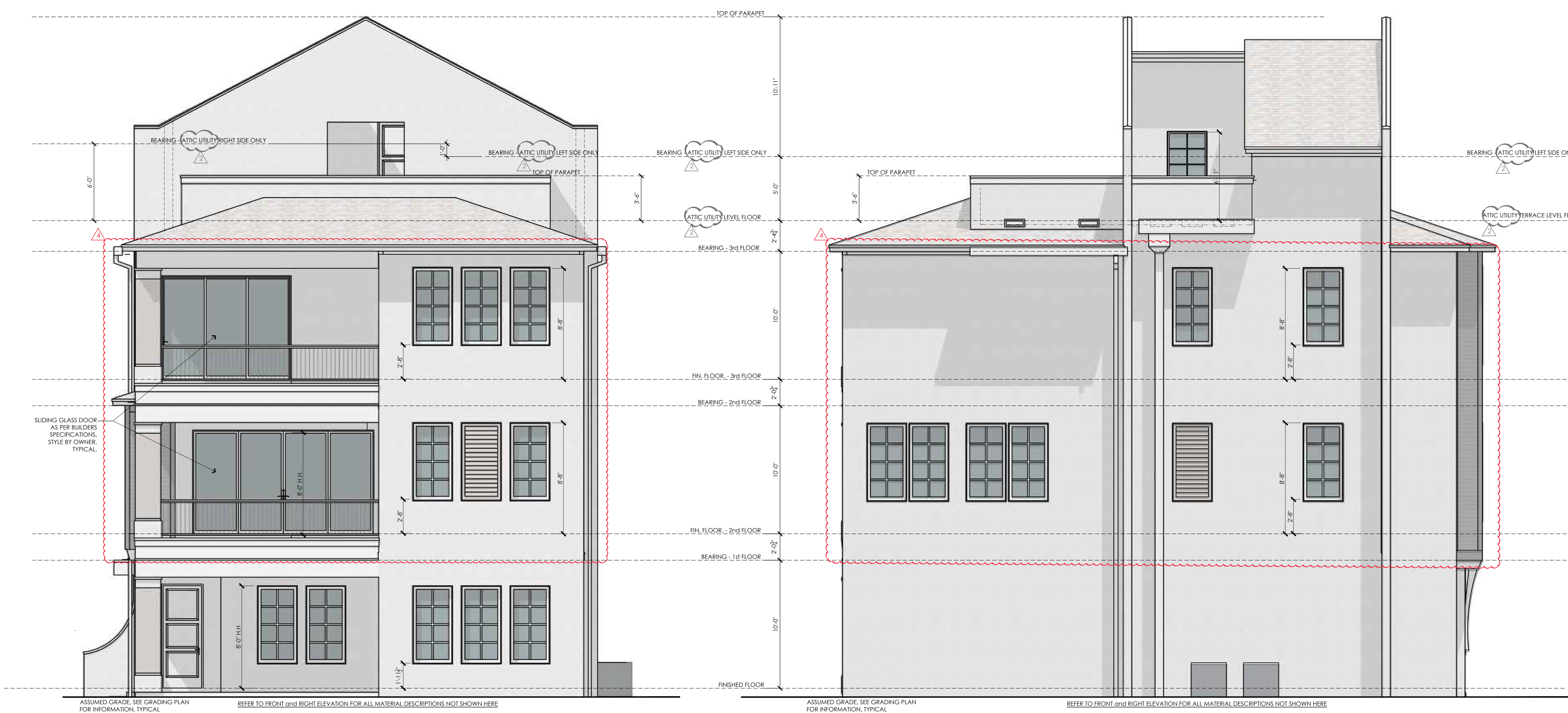
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Custom Home
Laureate Park
Neighborhood Center Phase 1
8517 Karrer Ter,
Orlando, FL 32827

Project No.:	24-005
Designed By:	Joseph D. Sirilla
Drawn By:	JDS/KC
Checked By:	DS
Date of Print:	06 / 18 / 2026
Date of Production:	01 / 23 / 2024

Sheet Number:

2.1



Rear Elevation
Scale: 1/4" = 1'-0"

Left Elevation
Scale: 1/4" = 1'-0"



Perspective Elevations
Scale: 1/4" = 1'-0"

STUCCO OVER WOOD FRAMING SHALL BE NO LESS THAN 5/8" OVER PAPER-BACKED WIRE LATH, OVER WEATHER RESISTANT BARRIER OVER SHEATHING.

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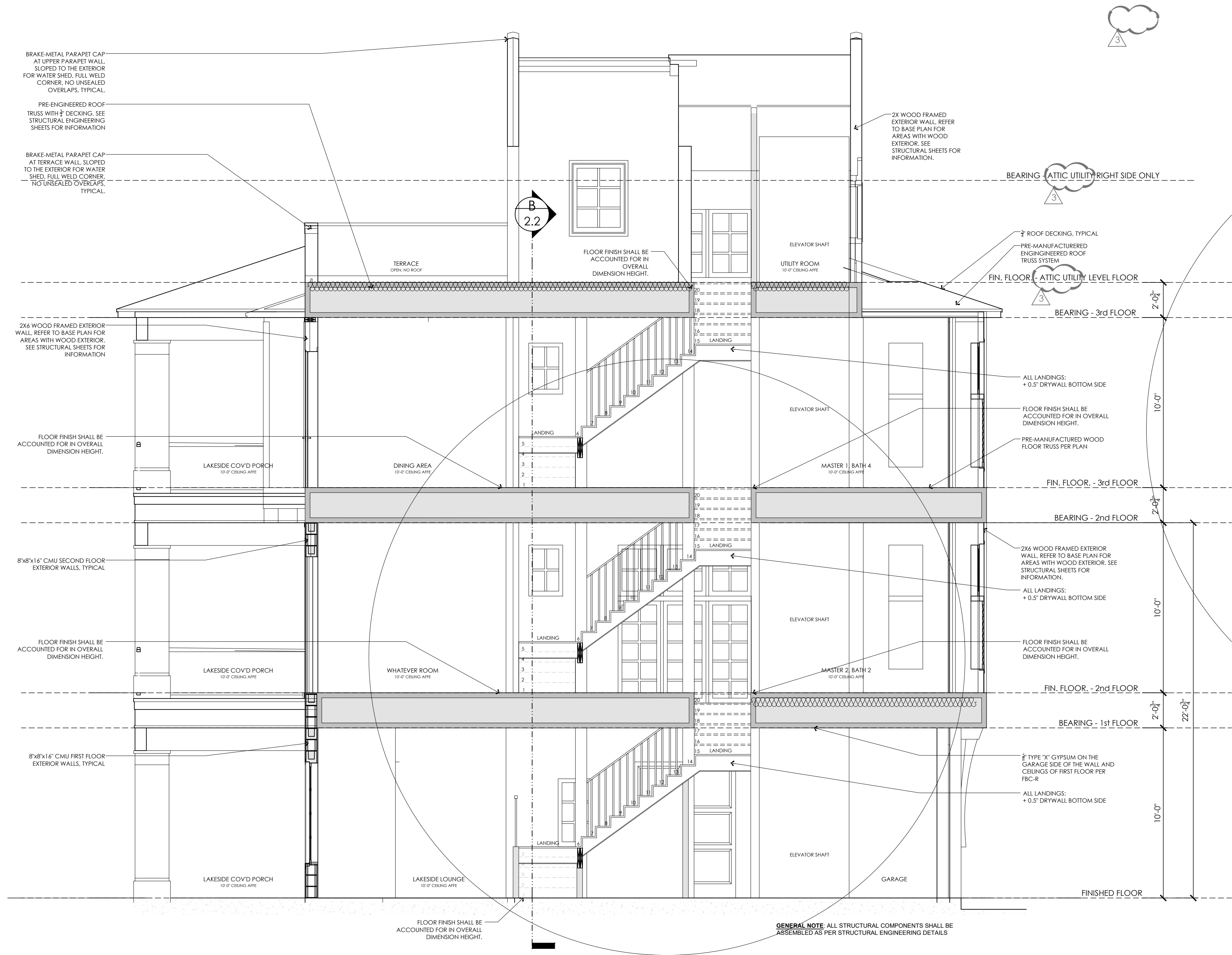
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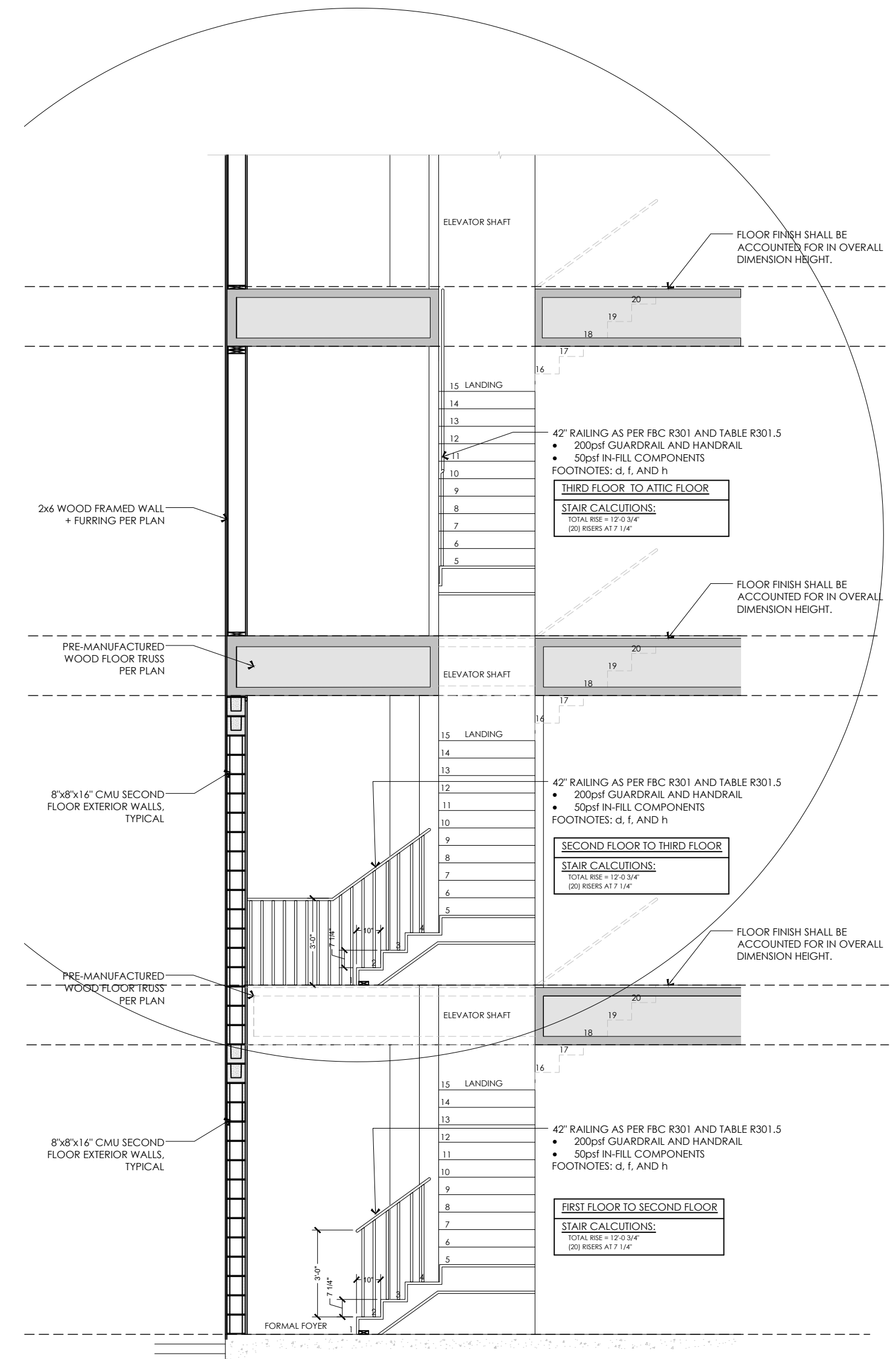
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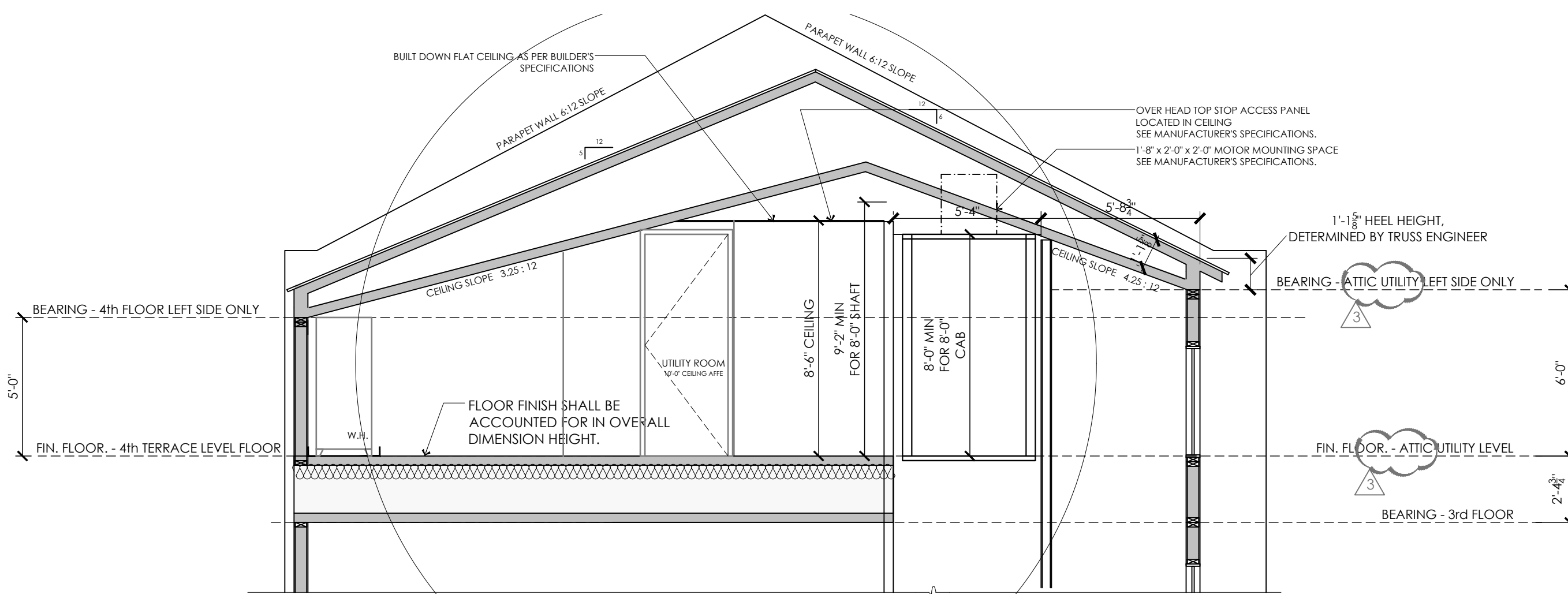
Elevations
Scale: As Indicated



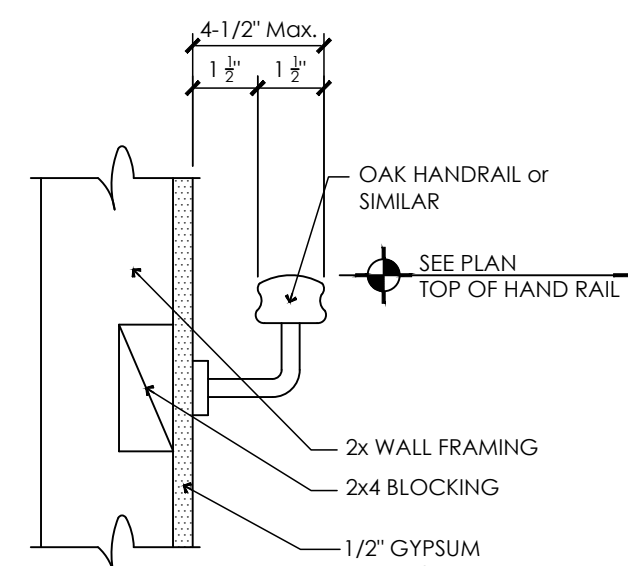
Section | A
Scale: 1/4" = 1'-0"



Stair Detail | B
Scale: 1/4" = 1'-0"



Partial ATTIC Floor Section | C
Scale: 1/4" = 1'-0"



Handrail Detail
Scale: No Scale Intended

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Sections & Details
Scale: As Indicated

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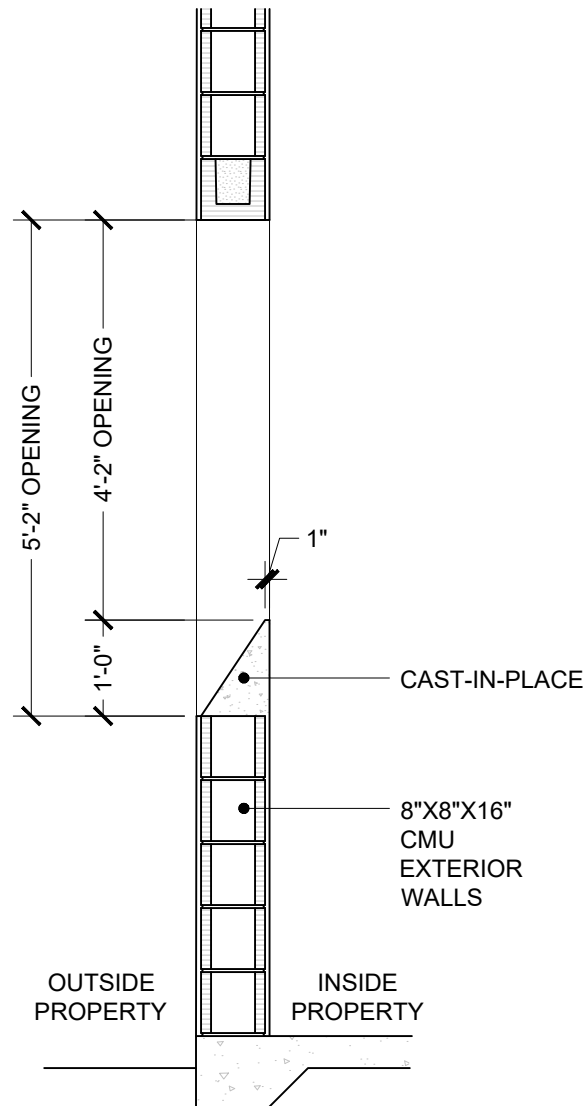
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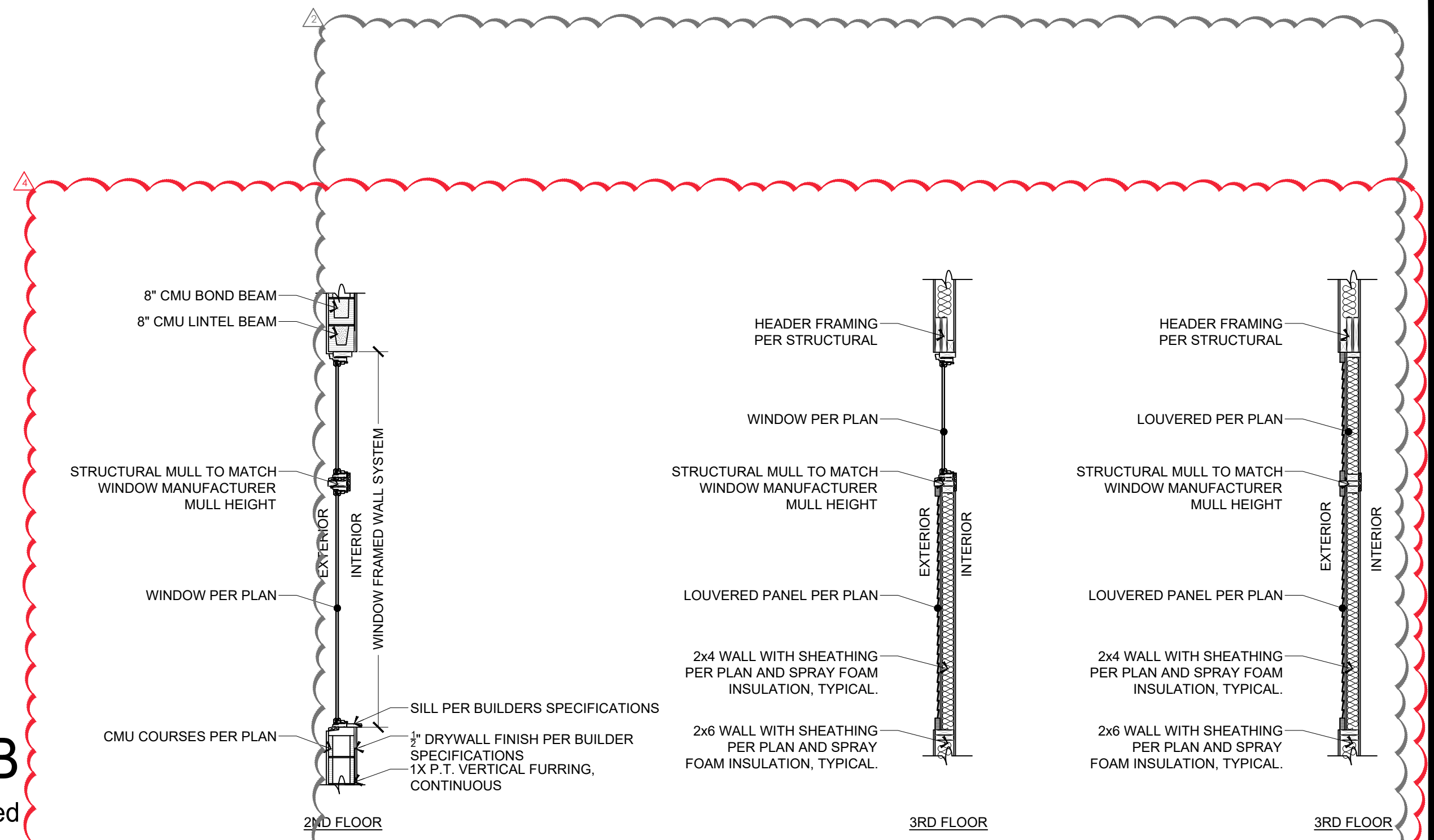
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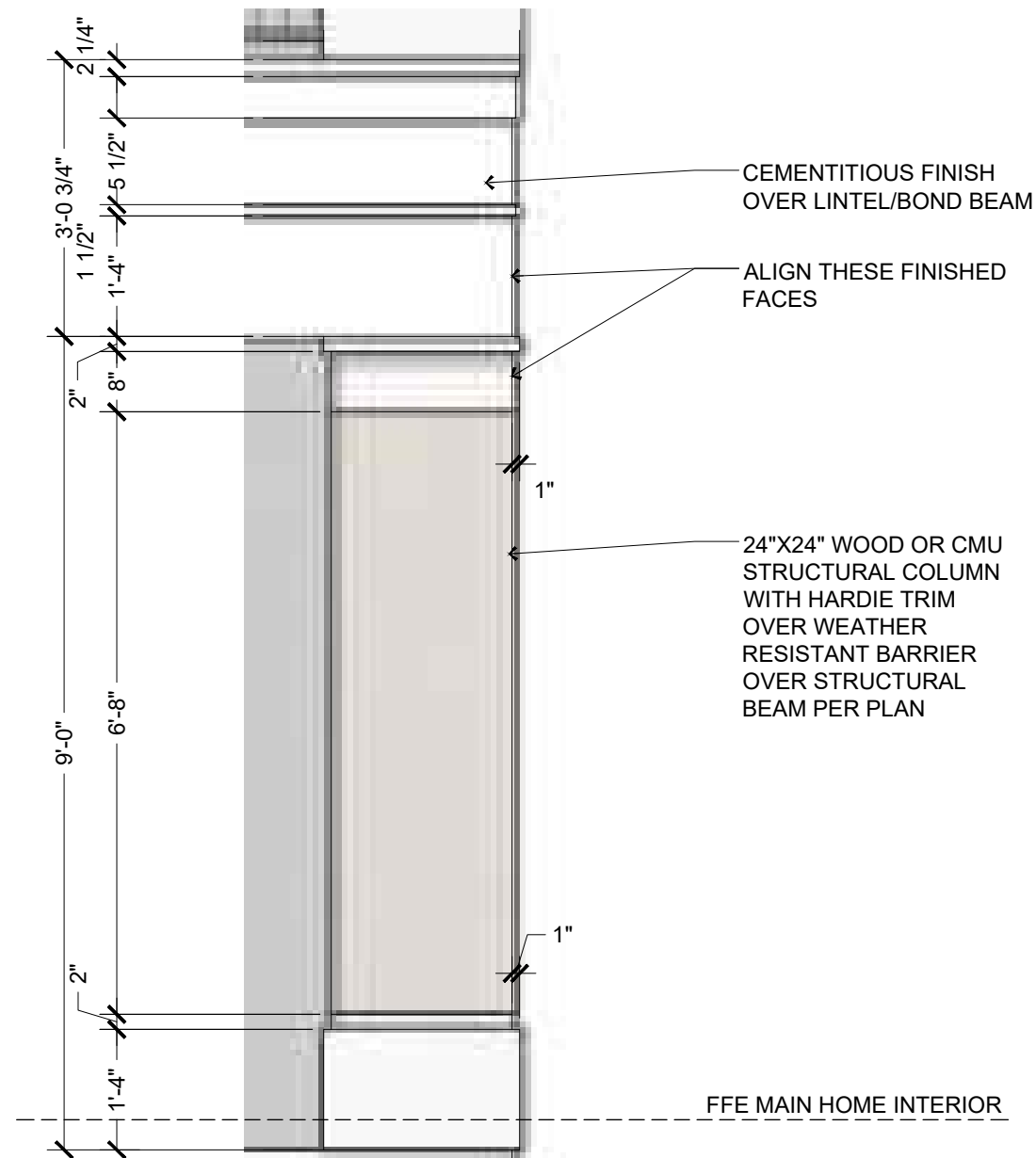
Bracket Detail | A
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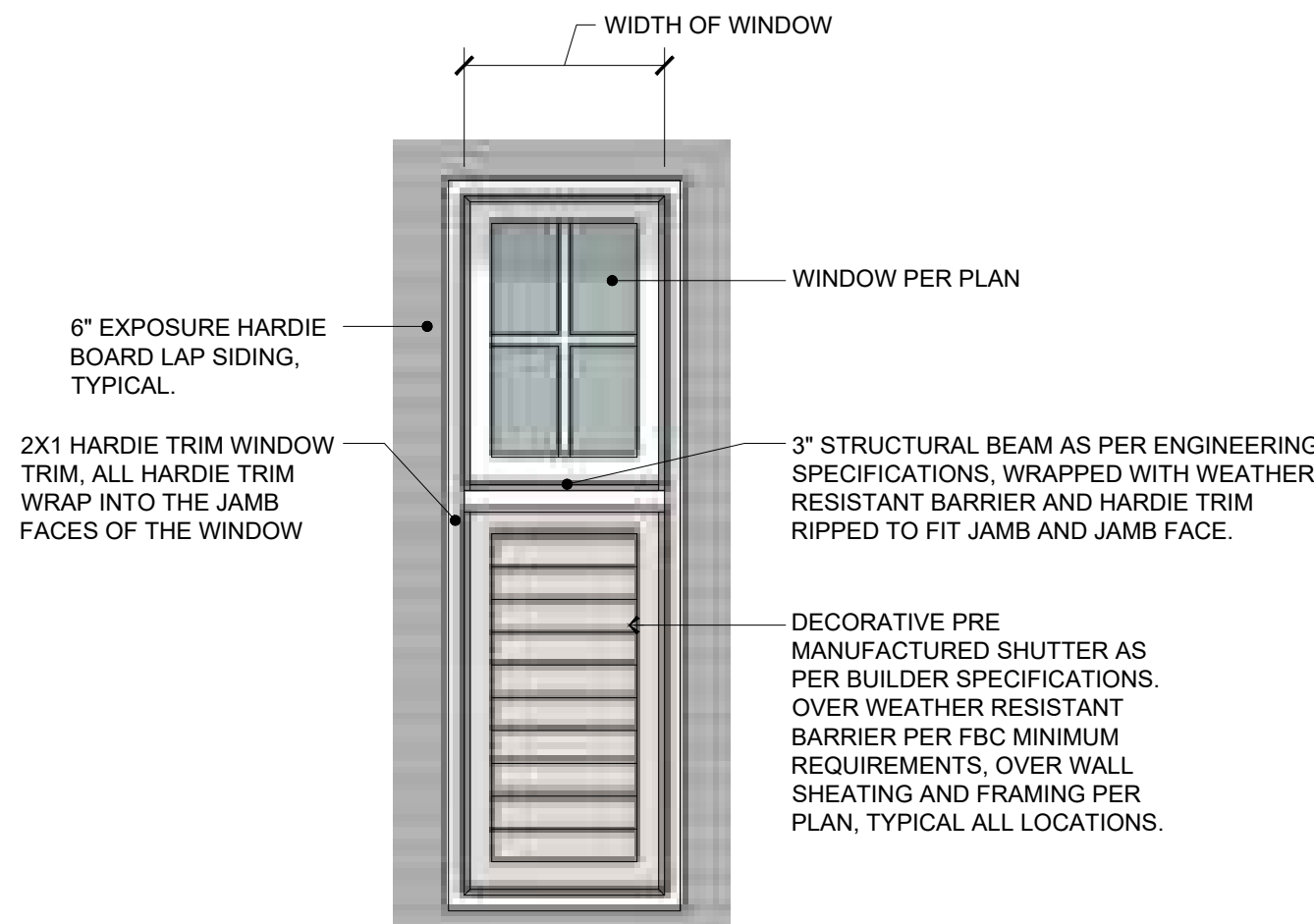
Section Detail | B
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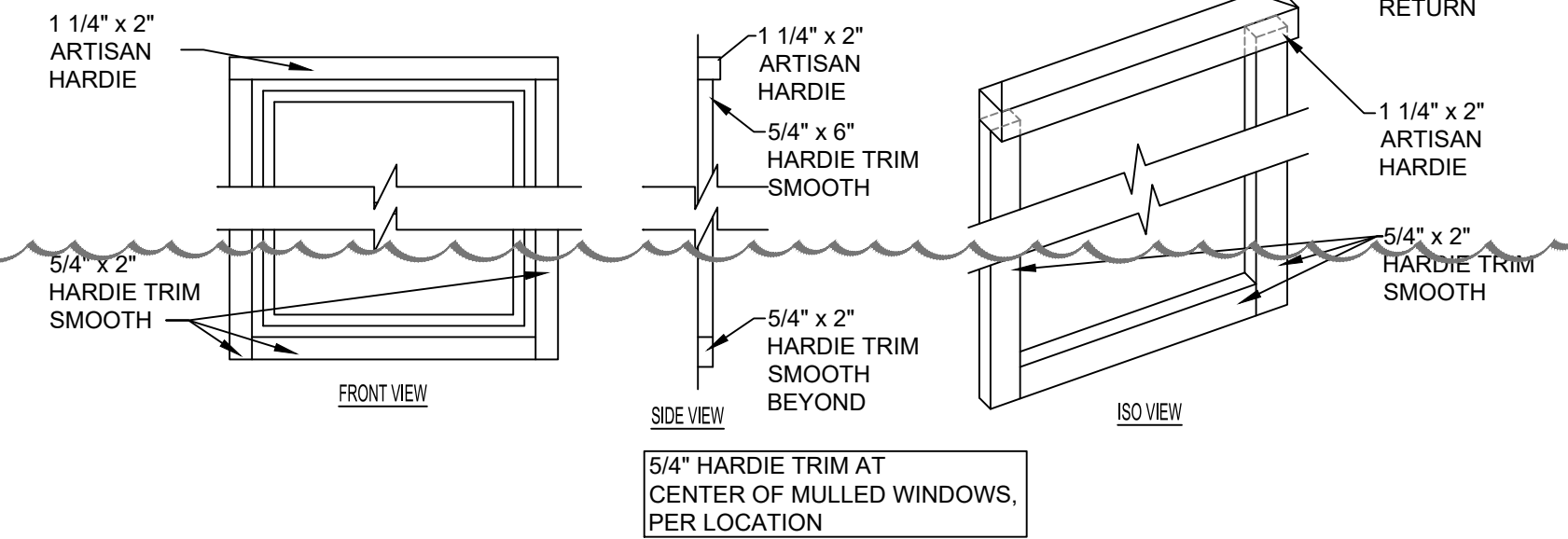
Wall Section | L
Scale: 3/8" = 1'-0"



Belly Band Trim Detail | E
Scale: 1/4" = 1'-0"

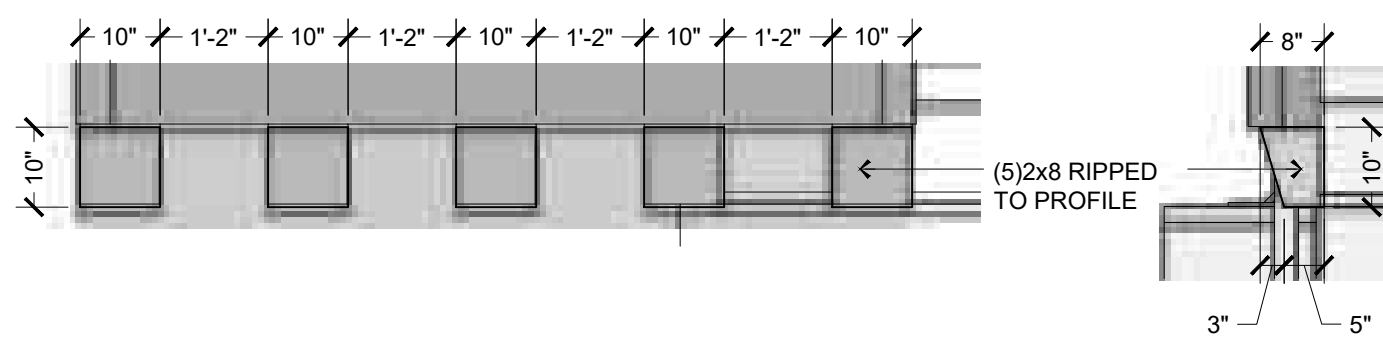


Louver Panel with Window | F
Scale: 1/2" = 1'-0"

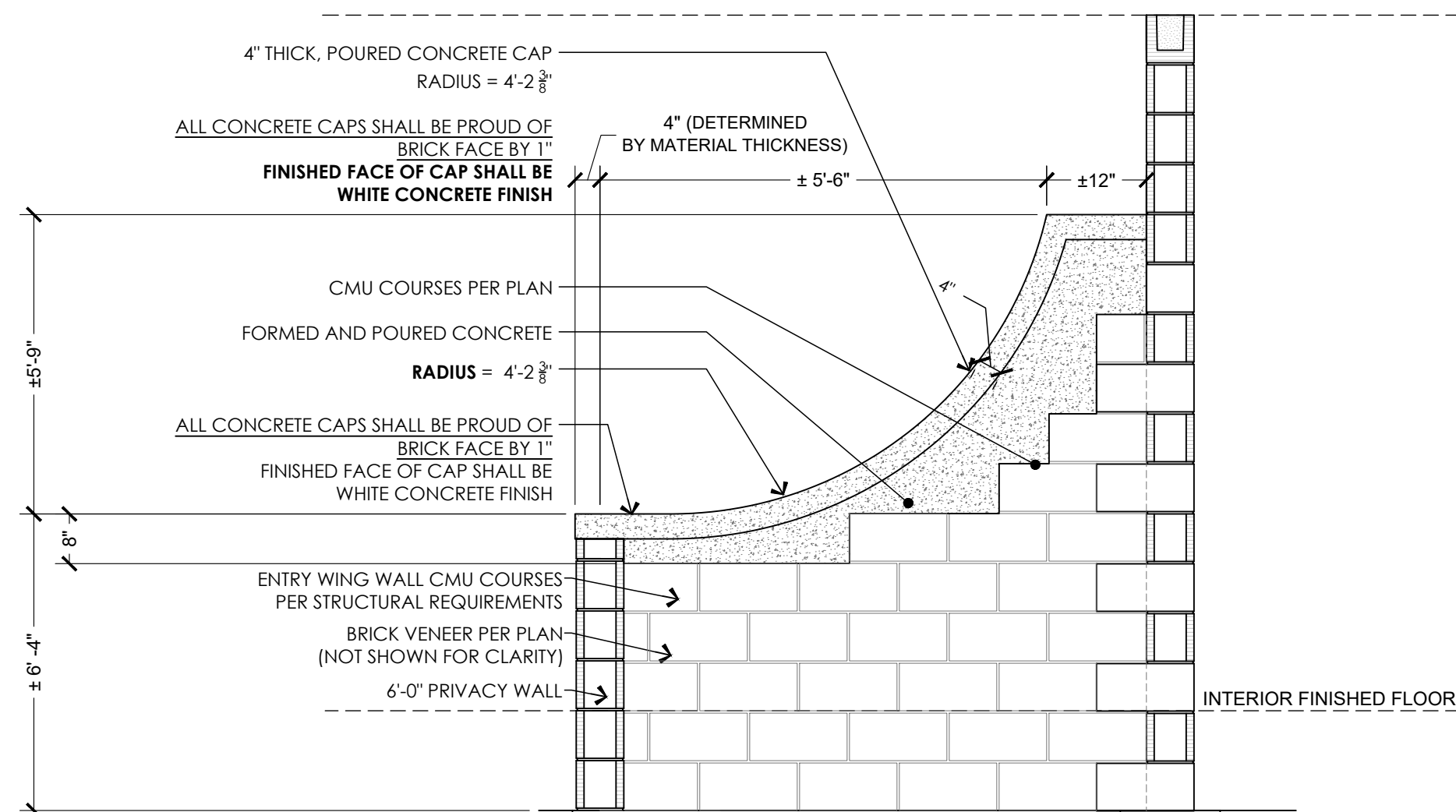


Window Trim Details | H
Scale: No Scale Intended

Column Detail | D
Scale: 1/2" = 1'-0"



Bracket Detail | J
Scale: 1/2" = 1'-0"



Wing Wall Detail | K
Scale: No Scale ntended

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Sections & Details
Scale: As Indicated

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DANIEL SCUTER, P.E.
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ORLANDO, FL 32854
PHONE (407) 421-4866

STRUCTURAL ENGINEER OF RECORD:
alba
ENGINEERING
C.A. #00566

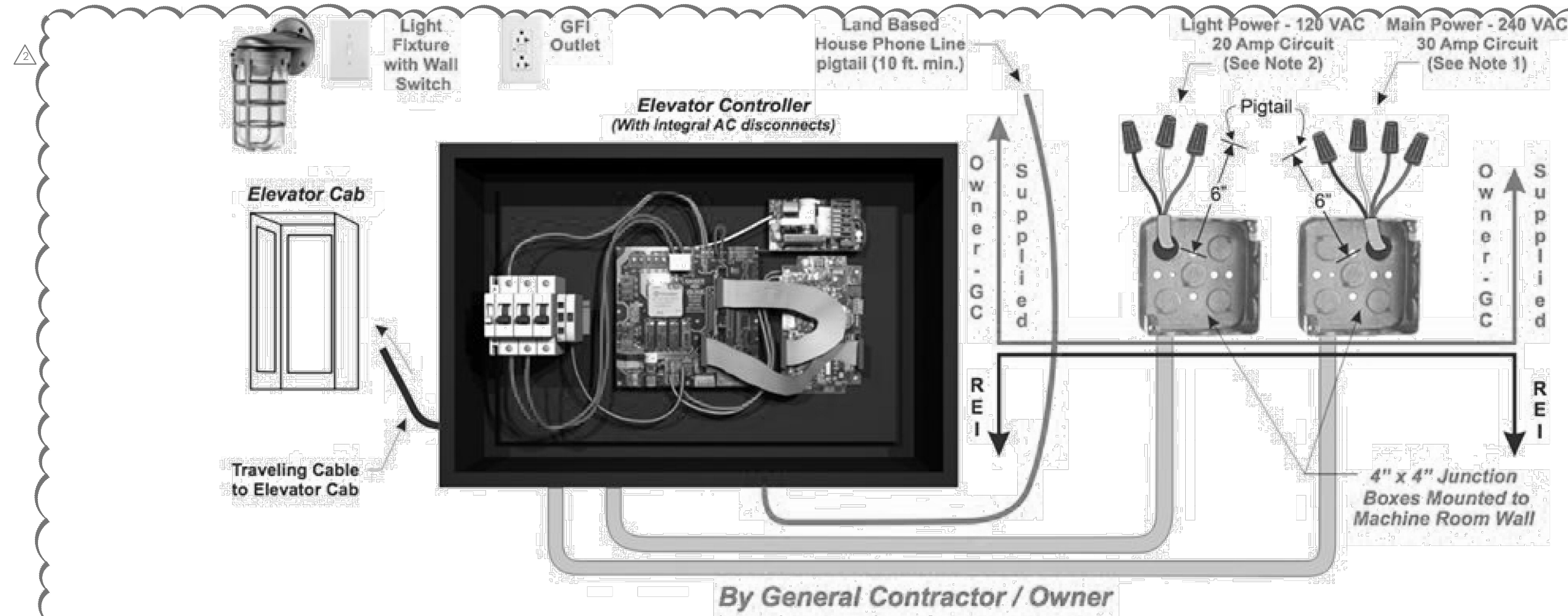
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Designed By: Joseph D. Sirilla
Drawn By: JDS/KC
Checked By: DS
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2.3



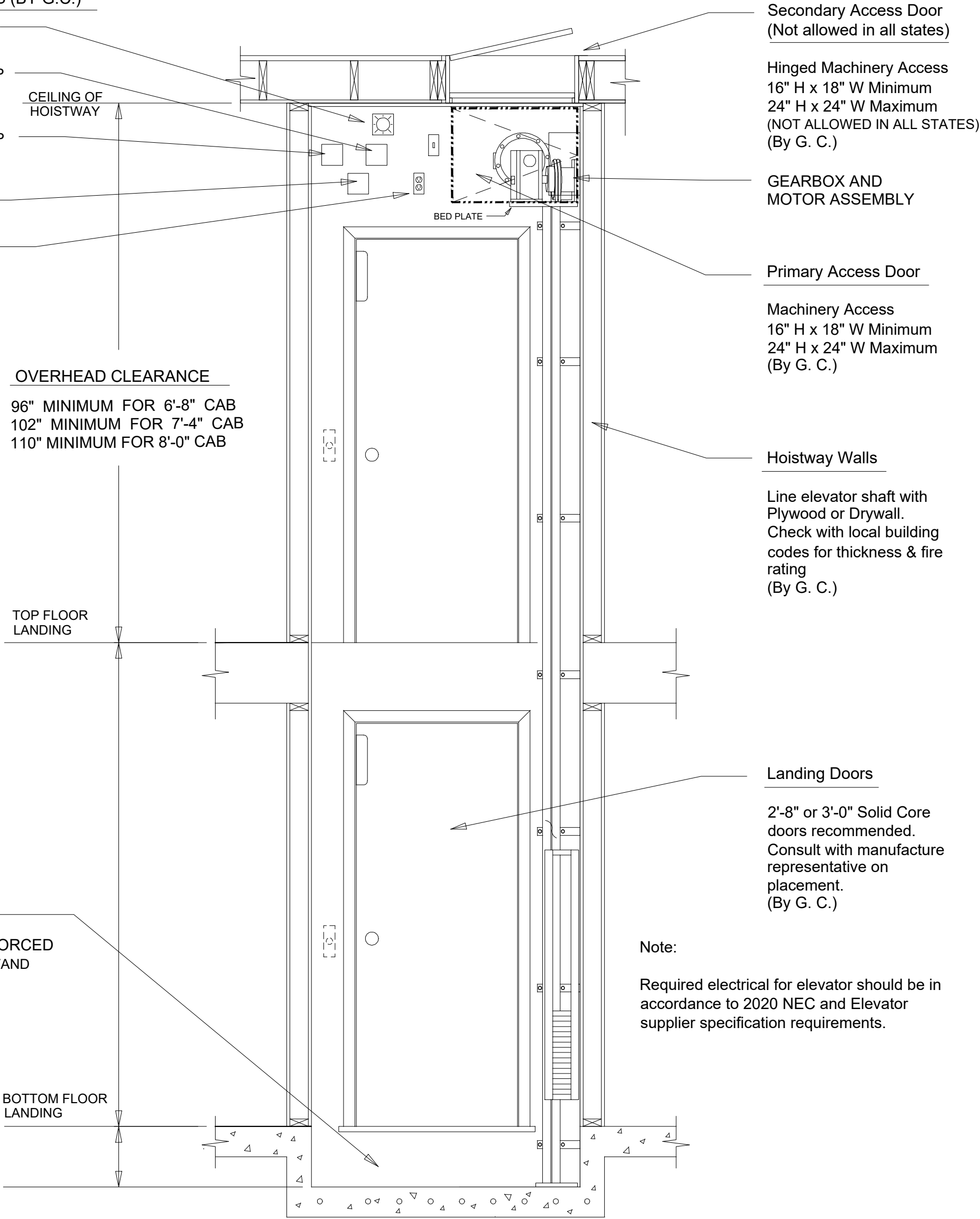
Each home elevator requires five (5) items from your Electrician and Telecommunications Contractor(s). They are as follows:

1. Main Power - 10/3 with Ground (min. 6") Pigtail connected to house 30 Amp dedicated circuit
2. Cab Light Power - 12/2 with Ground (min. 6") Pigtail connected to house 20 Amp dedicated circuit
3. One (1) GFI Outlet
4. One (1) Light Fixture (with protective cover over bulb) with wall switch
5. One (1) Live Land Based Phone Line with pigtail (10'-0" Min.) per code.

PLEASE BE ADVISED THAT POWER ON THE 240 VAC LINE MUST BE A 10-3 WIRE WITH A GROUND AND INSURE THERE IS A DEDICATED NEUTRAL TO THE UNIT.

ELECTRICAL REQUIREMENTS (BY G.C.)

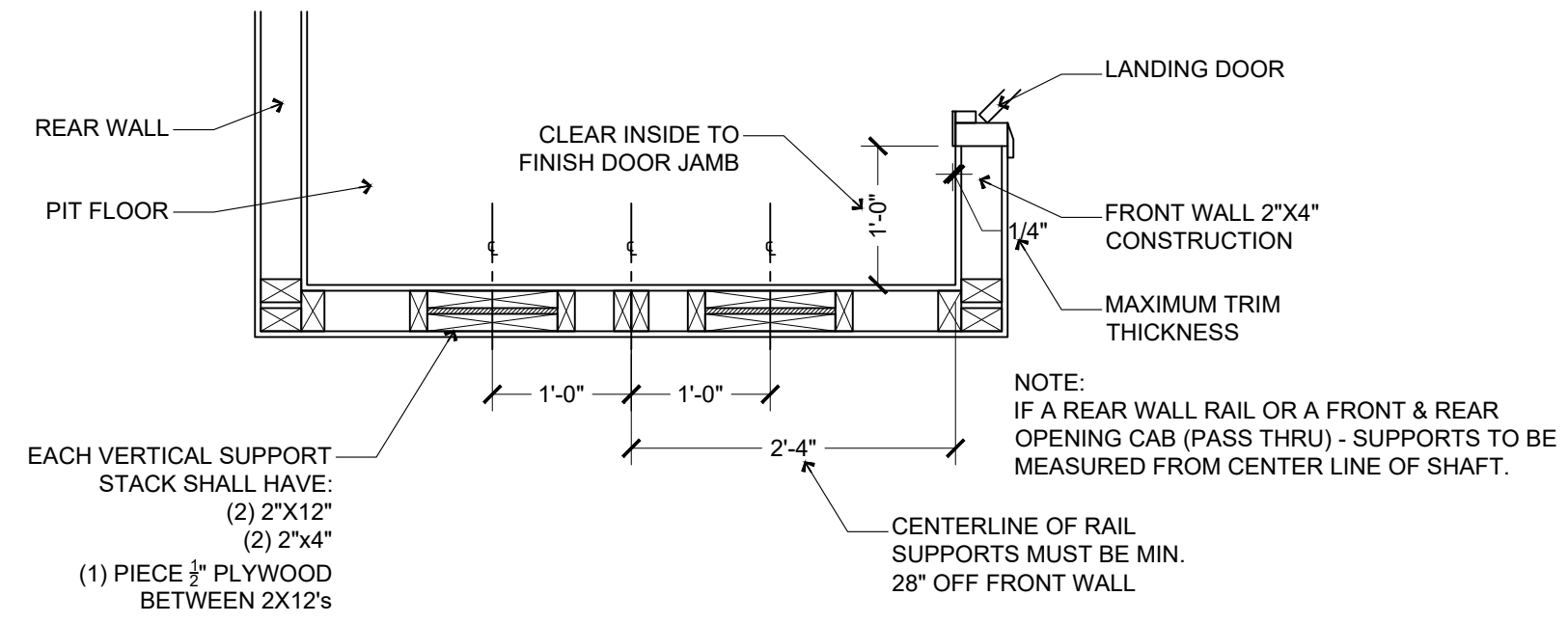
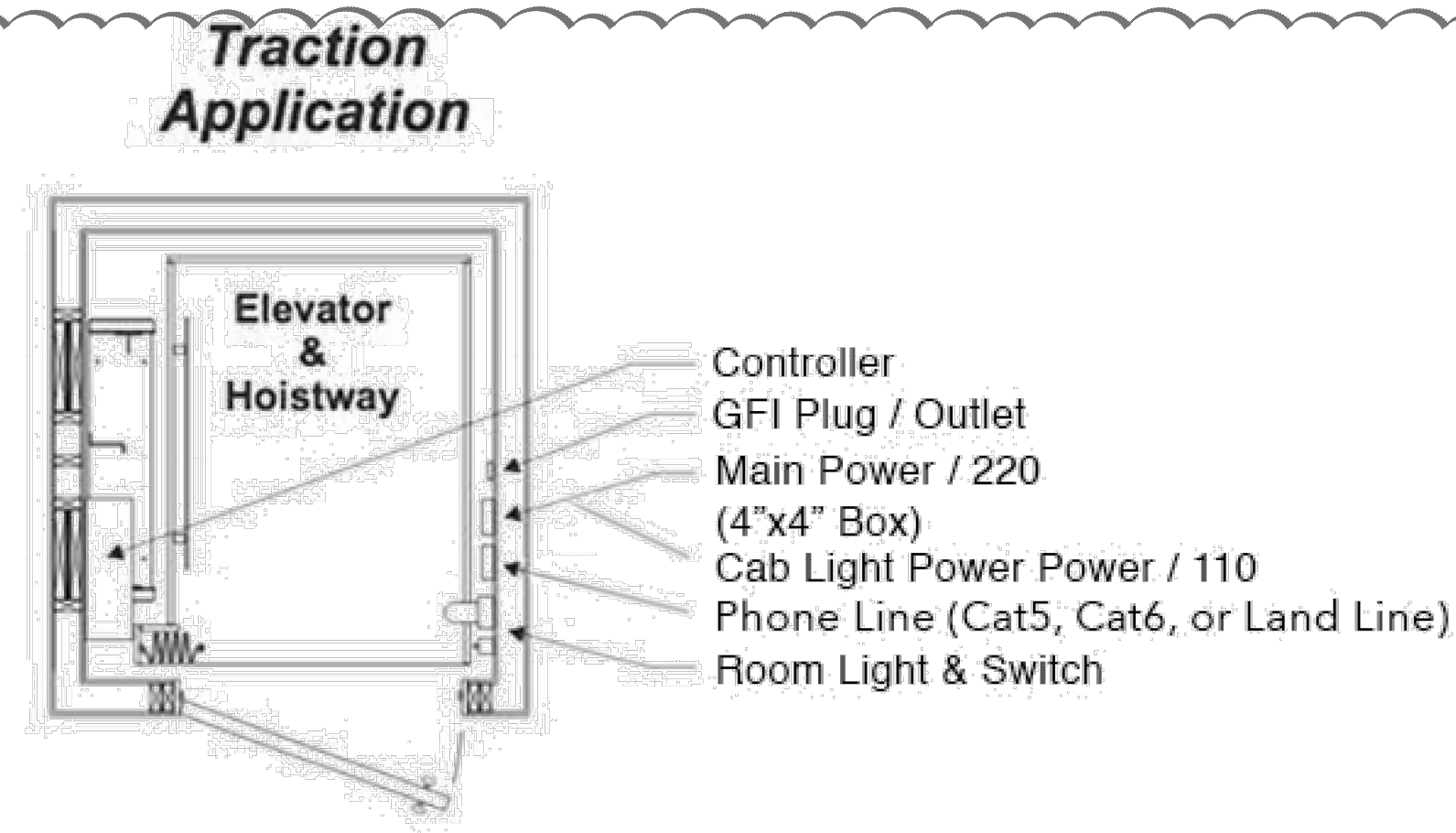
- CAGE LIGHT FIXTURE AND LIGHT SWITCH
- DEDICATED 240 VAC, 30 AMP IN 4" x 4" JUNCTION BOX (6" MINIMUM PIGTAIL WIRE)
- DEDICATED 120 VAC, 20 AMP IN 4" x 4" JUNCTION BOX (6" MINIMUM PIGTAIL WIRE)
- PHONE LINE IN 4" x 4" JUNCTION BOX
- GFCI 120 V. RECEPTACLE (BY G.C.)



Residential Elevators Inc (REI) Control system contains the 240 VAC and 120 VAC Disconnects, however; GC/OWNER must provide dedicated circuit and with 4"x4" junction box (1 box for 240 VAC & 1 box for 120 VAC) in machine space per drawing. See (REI) Electrical Requirements Specifications for further details.

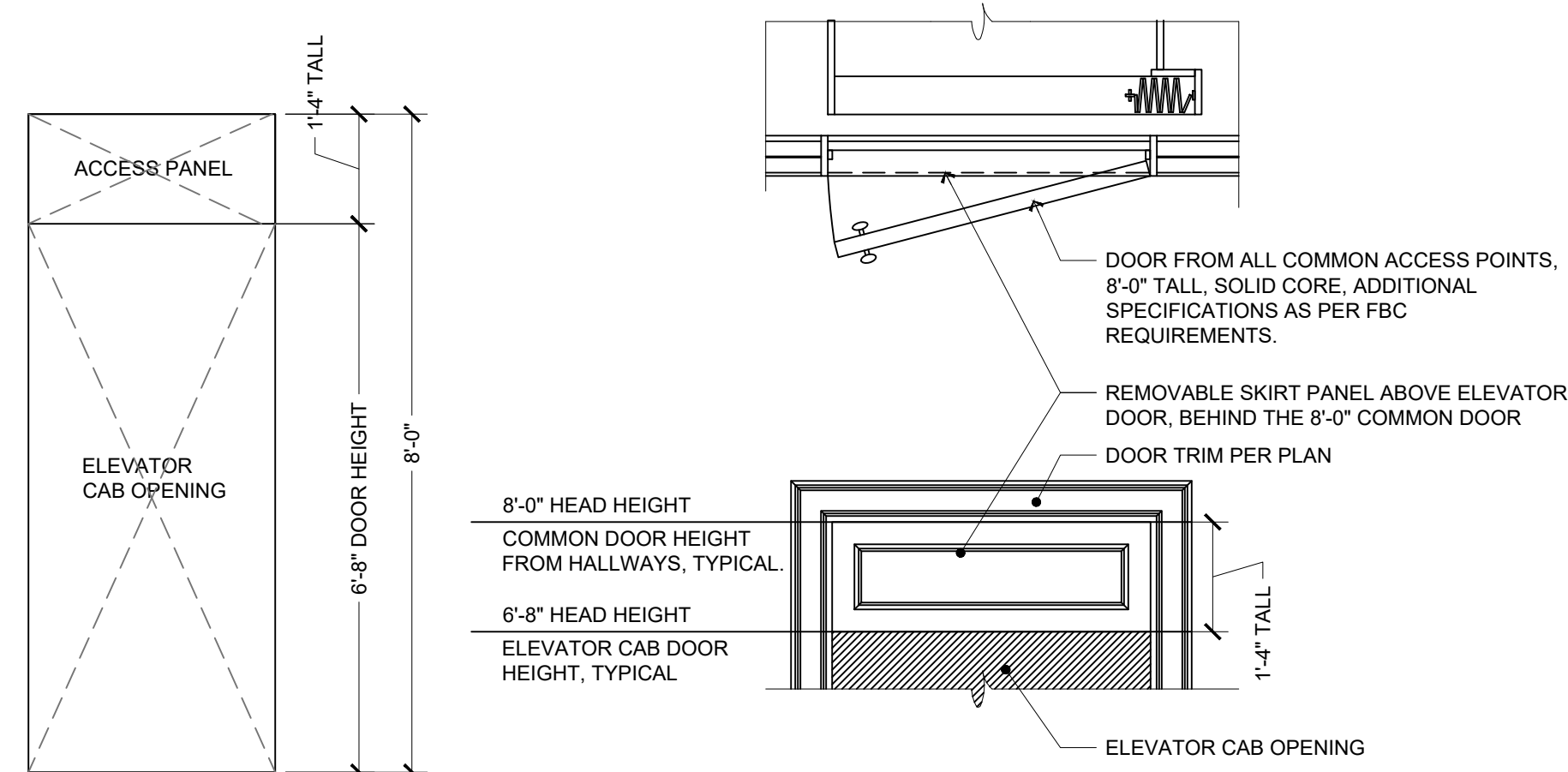
Section Detail of Elevator | A

Scale: No Scale Intended



Elevator Overhead View Detail | B

Scale: No Scale Intended



Elevator Access Panel & Door Skirt Details | C

Scale: No Scale Intended

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Elevator Sections & Details

All details this sheet have been Provided By Manufacturer. Scale: As Indicated

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D

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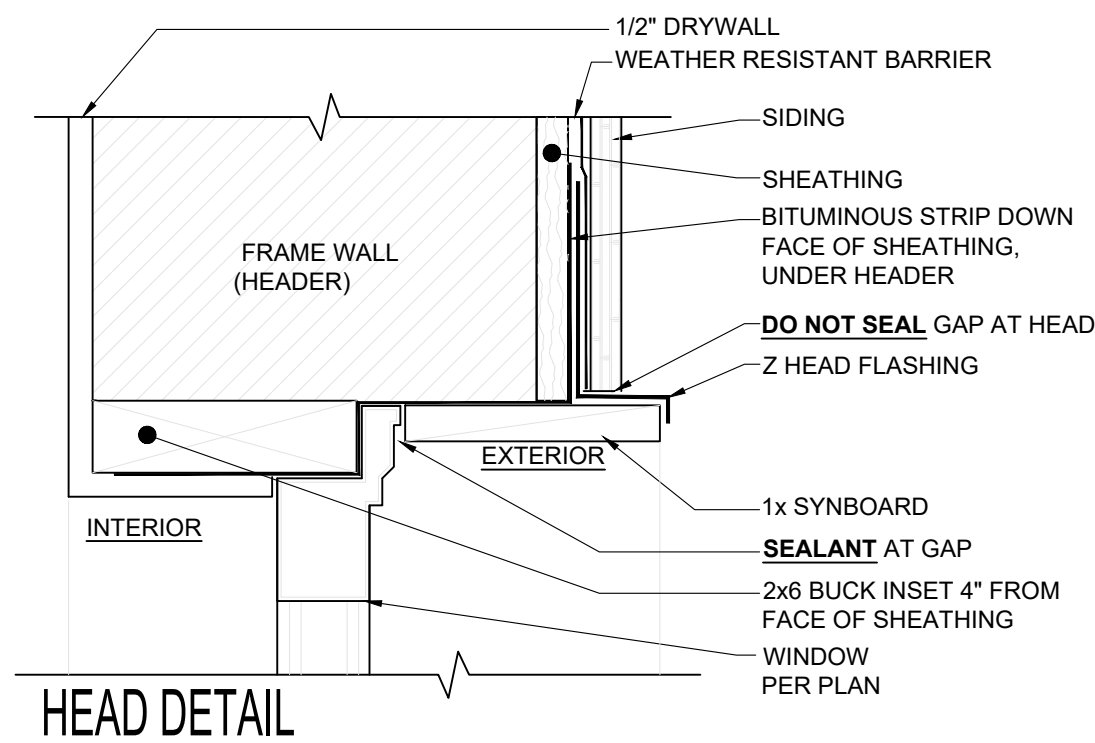
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Custom Home
Laureate Park
Neighborhood Center Phase 1

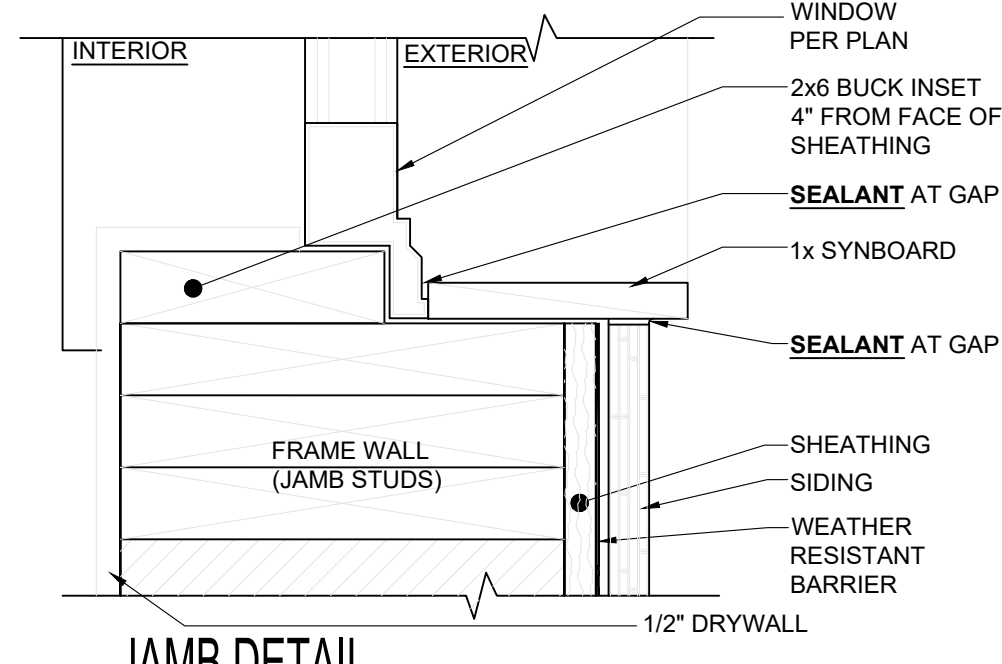
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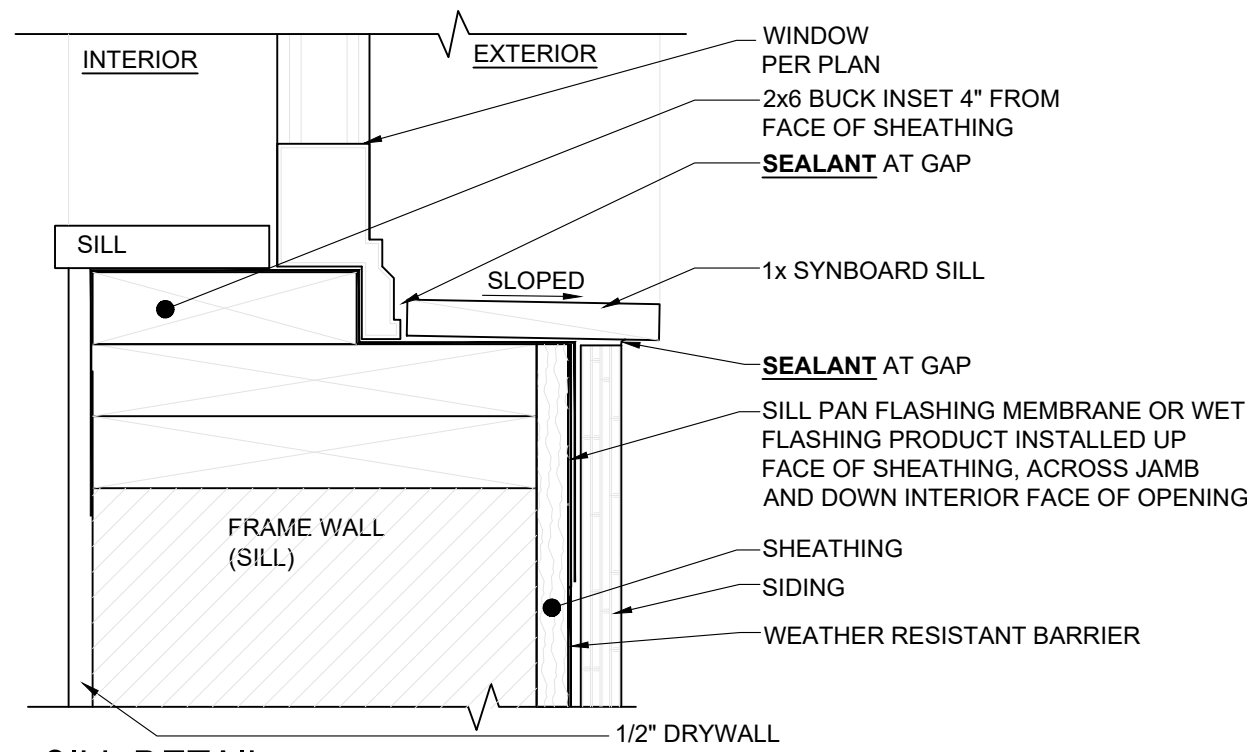
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HEAD DETAIL



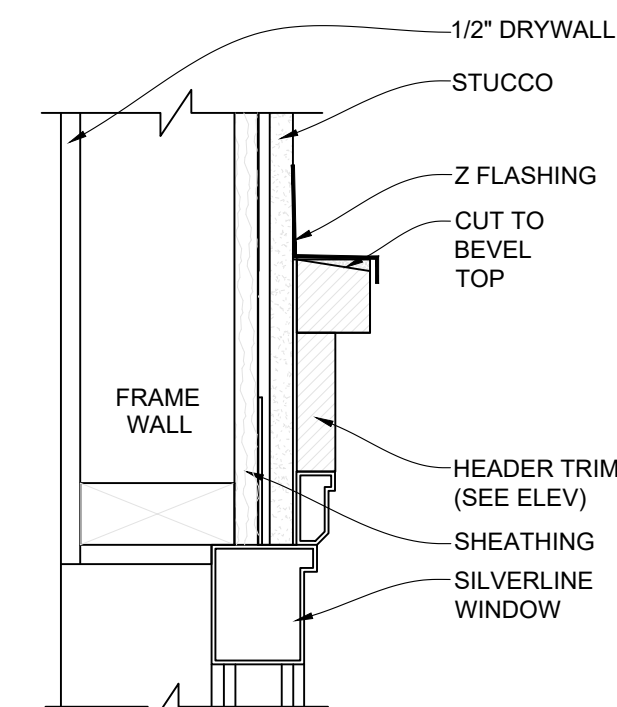
JAMB DETAIL



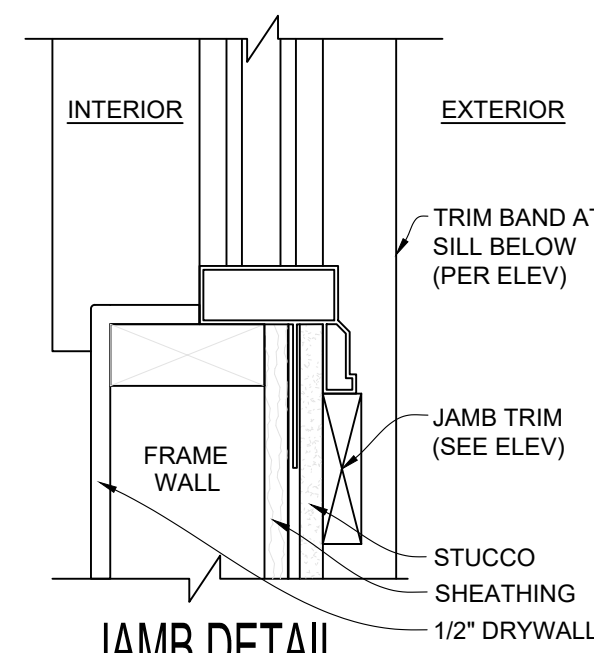
SILL DETAIL

SIDING OVER OVERSIZED WOOD FRAME, HARDIE TRIM

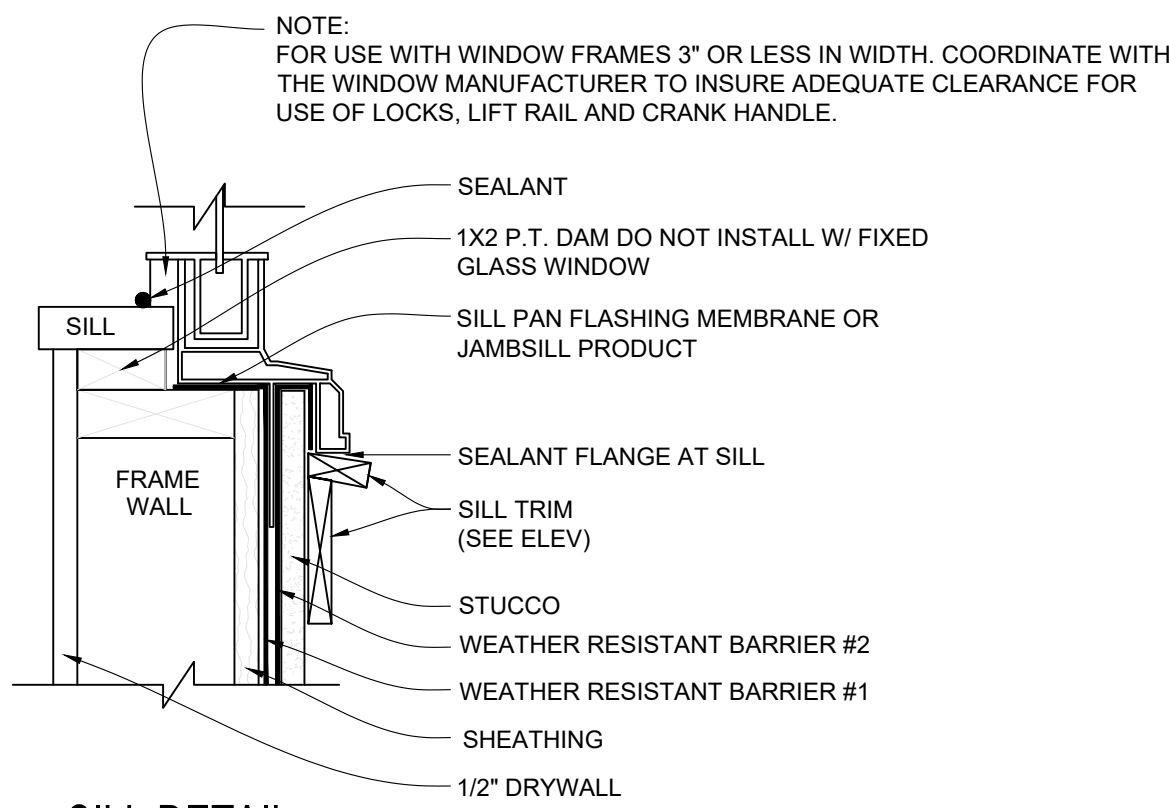
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HEAD DETAIL



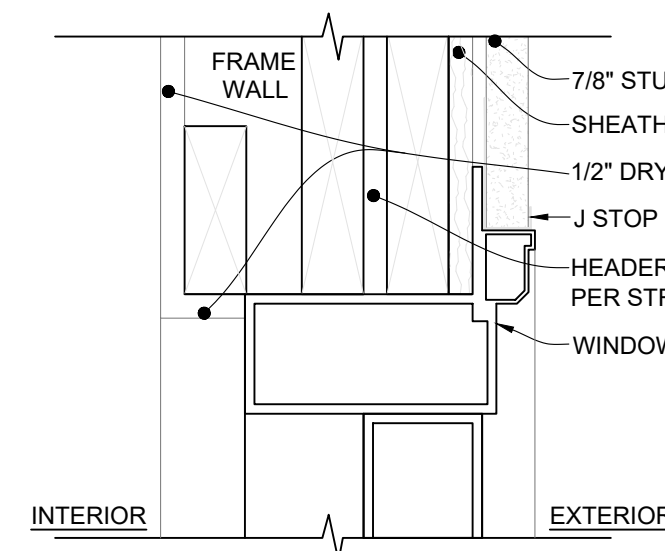
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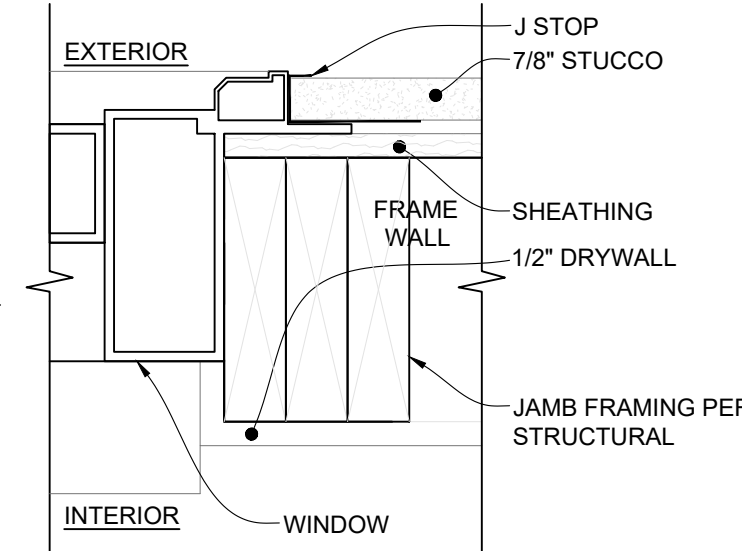
SILL DETAIL

STUCCO OVER WOOD FRAME, HARDIE TRIM

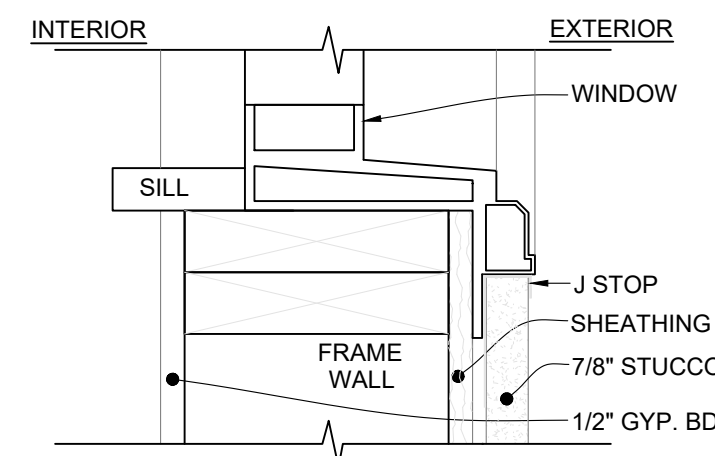
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HEAD DETAIL



JAMB DETAIL



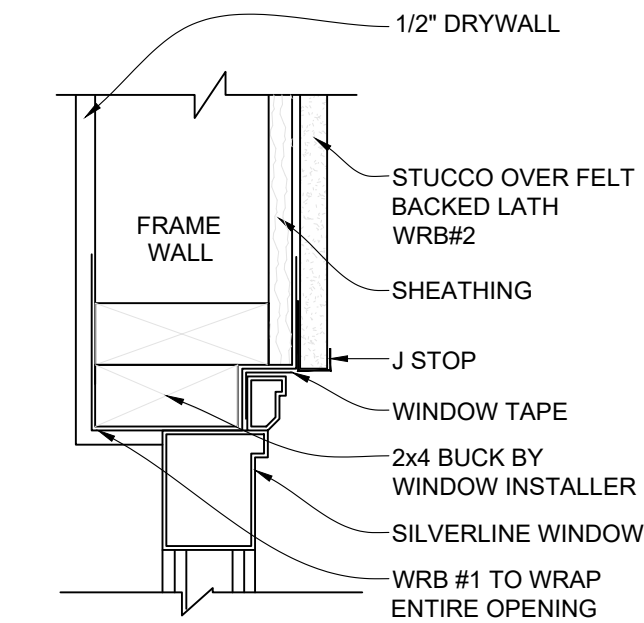
SILL DETAIL

STUCCO OVER WOOD FRAME, INSET WINDOWS STUCCO TRIM

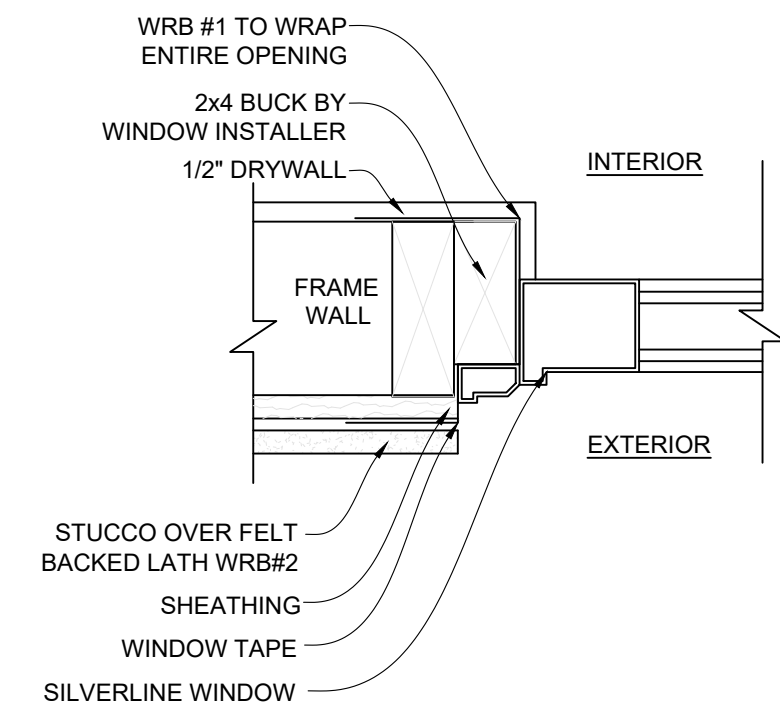
SCALE: 3" = 1'-0"

NOTE:

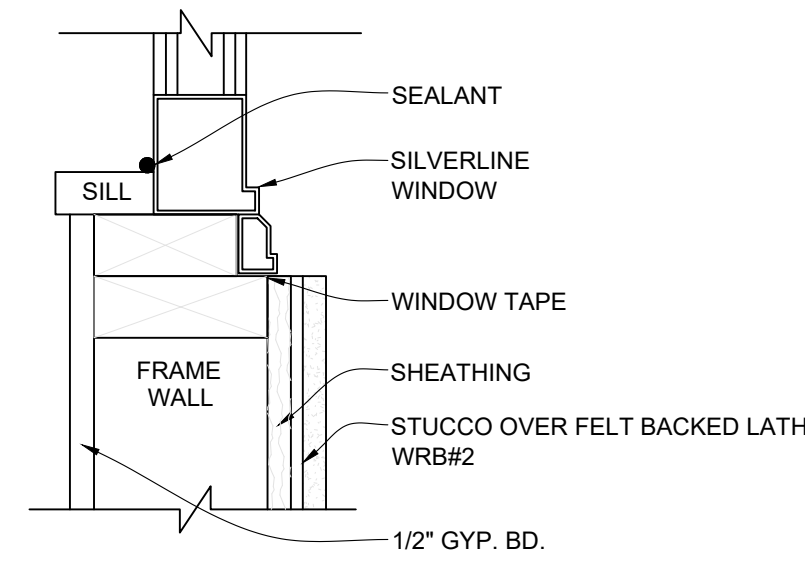
1. REFER TO STUCCO DETAILS FOR STUCCO OR FOAM TRIM APPLICATION, FLASHING AND WEATHER RESISTANT BARRIER INSTALLATIONS.
2. WEATHER RESISTANT BARRIER, WIRE LATH, FLASHING, AND OTHER WATER SHEDDING MATERIALS ARE NOT SHOWN FOR CLARITY.



HEAD DETAIL



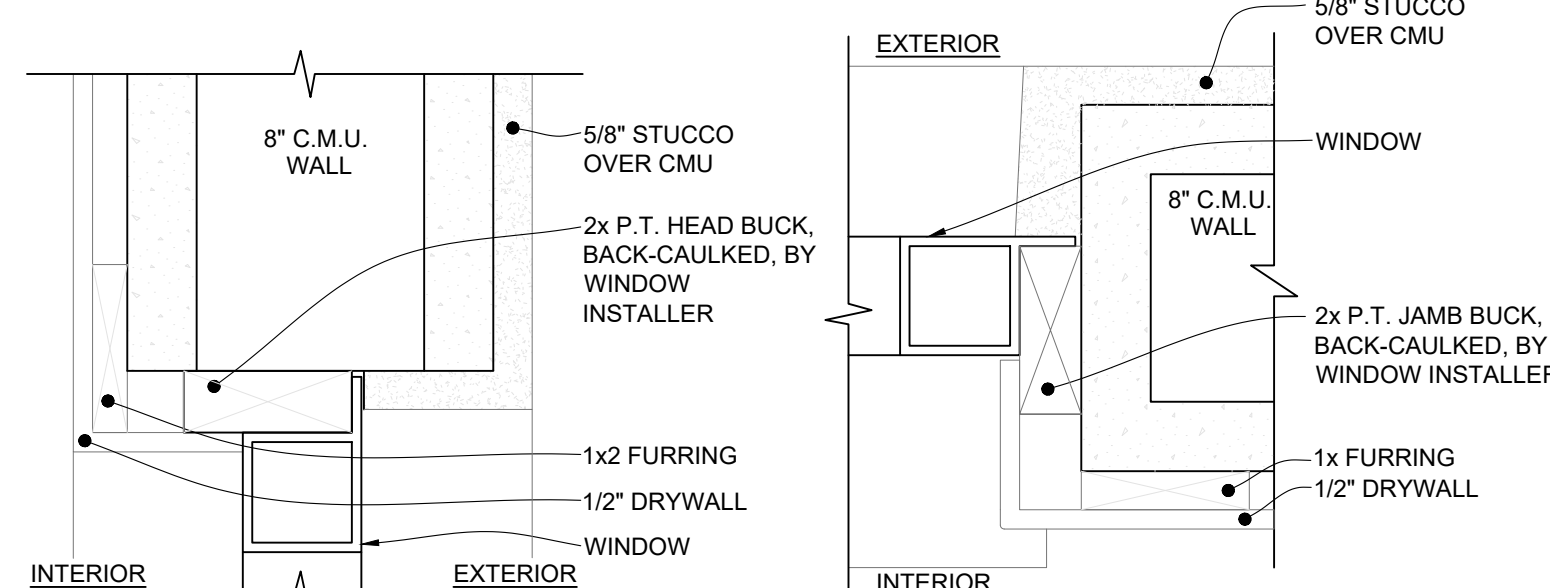
JAMB DETAIL



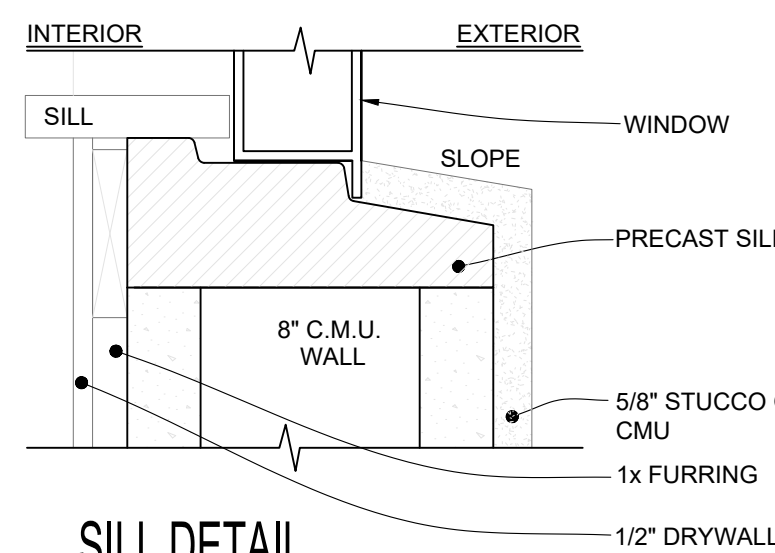
SILL DETAIL

STUCCO OVER WOOD FRAME, INSET WINDOWS STUCCO TRIM

SCALE: 3" = 1'-0"



HEAD DETAIL



SILL DETAIL

STUCCO OVER CMU, PRECAST SILL, STUCCO TRIM

SCALE: 3" = 1'-0"

NOTE:

1. PAINT SILL, JAMBS AND BOTH VERTICAL FACES OF CMU OPENING WITH SHERWIN WILLIAMS SHERCRETE OR EQUAL.
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Enlarged Window Details

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ELECTRICAL NOTES

1. ELECTRICAL PLAN AS DEPICTED IS FOR REPRESENTATIONAL AND BID PURPOSES ONLY AND IT IS THE RESPONSIBILITY OF THE LICENSED ELECTRICIAN TO PROVIDE ALL REQUIRED INFORMATION FOR PERMIT ISSUANCE AND TO ENSURE THAT ALL ELECTRICAL WORK AND APPLIANCES ARE IN FULL COMPLIANCE WITH N.F.P.A., N.E.C., F.B.C.-R 010, AND ALL APPLICABLE LOCAL STANDARDS, CODES, AND ORDINANCES.
2. FAN, PHONE, ALARM, DATA & CATV LOCATIONS PER CONTRACT
3. UNLESS OTHERWISE INDICATED, INSTALL SWITCHES AND RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE THE INTERIOR FINISHED FLOOR:
- | | |
|------------|----------------------------------|
| SWITCHES | 42" |
| OUTLETS | 14" - 18" |
| KITCHEN | 42" - 44" |
| MICROWAVE | 66" |
| BATHROOMS | 42" |
| LAUNDRY | 36" |
| EXTERIOR | 14" - 18" |
| GARAGE | 42", ALL COMPONENTS |
| RANGE | 2" |
| TELEVISION | NOTED ON PLANS |
| TELEPHONE | 14" - 18" (UNLESS ABOVE COUNTER) |
| CABLE | 14" - 18" (UNLESS ABOVE COUNTER) |
| DATA | 14" - 18" (UNLESS ABOVE COUNTER) |
4. ALARMS & DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM THE LOCAL POWER UTILITY. SUCH ALARMS SHALL HAVE BATTERY BACKUP AND MUST BE LOCATED 36" AWAY FROM BATHROOM DOOR LOCATIONS. COMBINATION SMOKE/CARBON MONOXIDE ALARMS/DETECTORS SHALL BE LISTED OR LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY AND INSTALLED AS PER F.B.C.-R REFERENCED NFPA REQUIREMENTS.
5. ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS IN BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT INTERRUPTER(S)

6. ALL 15A AND 20A 120V RECEPTACLES LOCATED IN THE GARAGE AND UTILITY ROOMS SHALL BE G.F.C.I. PROTECTED (G.F.I.).
7. ALL 15A AND/OR 20A RECEPTACLES IN SLEEPING ROOMS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, AND SIMILAR AREAS WILL REQUIRE A COMBINATION TYPE A.F.C.I. DEVICE WITH TAMPER-PROOF RECEPTACLES PER NEC
8. ALL 15A AND/OR 20A RECEPTACLES IN GARAGE AND UTILITY ROOMS WILL REQUIRE GFCI PROTECTION
9. EXCEPTIONS FROM GFI REQUIREMENTS SHALL BE PERMITTED PROVIDED LOCATIONS ALLOWED PER NFPA & NEC.
10. BATHROOM EXHAUST FANS MUST VENT TO THE EXTERIOR OF THE BUILDING. VENTING INTO ATTIC SPACES IS NOT ACCEPTABLE.
11. NOTE: ELECTRICAL LOCATIONS SHOWN ON DRAWINGS CAN BE CHANGED AT THE SOLE DISCRETION OF THE BUILDER OR ITS LICENSED ELECTRICIAN IN ORDER TO COMPLY WITH NATIONAL AND MUNICIPAL BUILDING AND ELECTRICAL CODES.
12. IT IS THE SOLE RESPONSIBILITY OF THE LICENSED ELECTRICIAN TO ENSURE THAT ALL ELECTRICAL WORK IS IN FULL COMPLIANCE WITH NFPA, NEC, FBC CODES AND ALL REINING MUNICIPALITY CODES STANDARDS AND ORDINANCES.
13. RANGE HOOD EQUIPPED WITH BACK DRAFT DAMPER AND VENTED TO EXTERIOR. MICROWAVES LOCATED ABOVE COOKTOP OR RANGE SHALL COMPLY WITH UL923
14. ALL DOORS AND WINDOWS PROVIDING DIRECT ACCESS FROM THE HOME TO THE POOL SHALL BE EQUIPPED WITH AN EXIT ALARM COMPLYING WITH UL THAT HAS A MINIMUM SOUND PRESSURE RATING OF 85 DBA AT 10 FEET, AND EITHER HARDWIRED OR OF THE PLUG-IN TYPE. THE EXIT ALARM SHALL PRODUCE A CONTINUOUS AUDIBLE WARNING WHEN THE DOOR OR WINDOW ARE OPENED.
15. SOME SYMBOLS SHOWN ON THE ELECTRICAL LEGEND MAY NOT BE USED IN THIS PLAN SET.

NOTE: ELECTRICAL MATERIAL AND INSTALLATIONS SHALL COMPLY WITH APPLICABLE PROVISIONS OF THE NFPA, NATIONAL CODES, AND/OR LOCAL POWER/UTILITY COMPANY

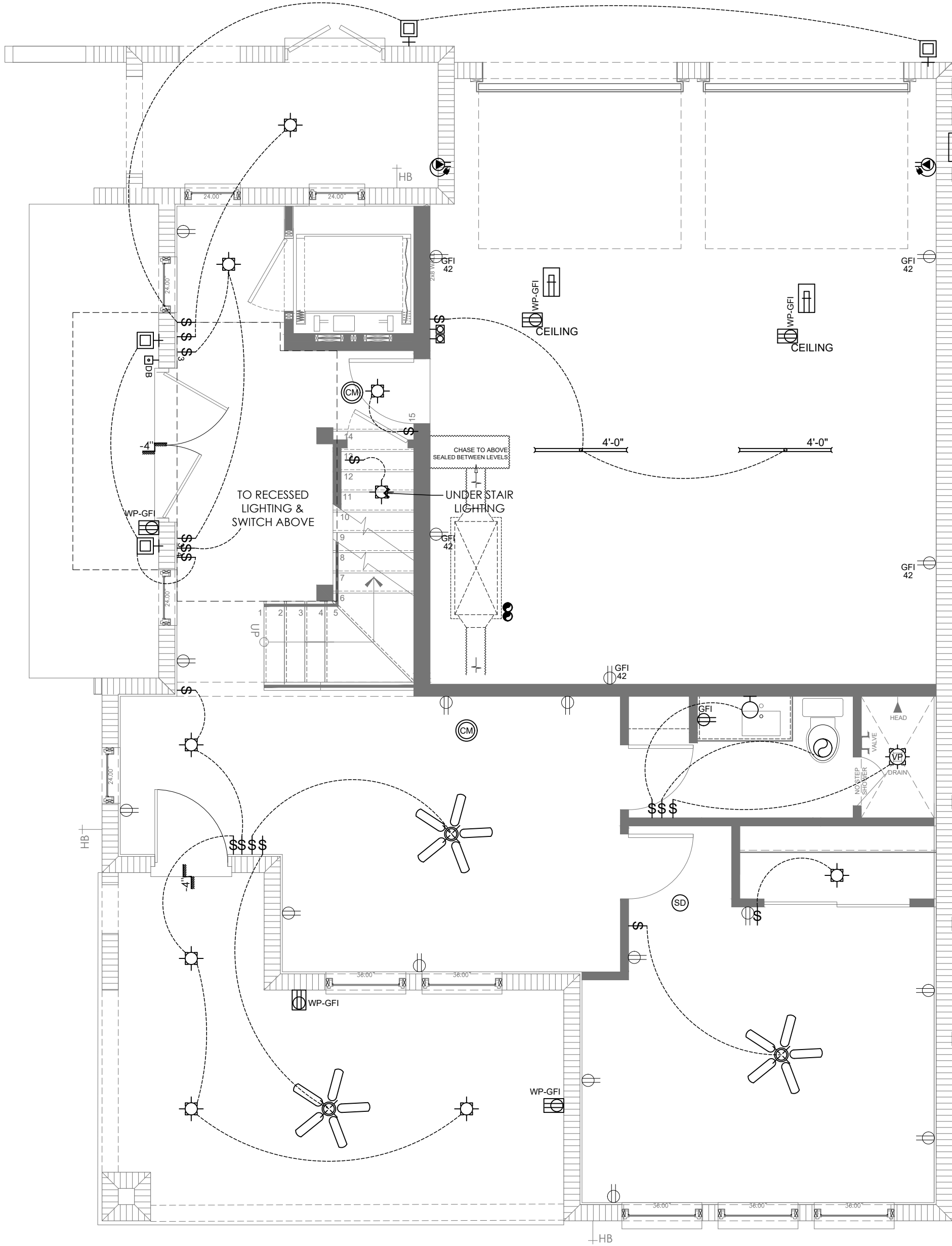
THE EXISTING ELECTRICAL SERVICE SIZE MUST BE VERIFIED TO ACCEPT THE ADDITIONAL LOAD PRIOR TO COMMENCEMENT OF CONSTRUCTION.

** THE DETAILS PROVIDED ON THIS SHEET ARE FOR INFORMATIONAL PURPOSES ONLY. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR APPLYING FOR THE ELECTRICAL PERMIT TO SUBMIT UP-TO-DATE INFORMATION REGARDING THIS PROJECT IF ANY INFORMATION DIFFERS FROM THESE TWO ELECTRICAL PLAN SHEETS. **

ANY CHANGES TO THE DESIGN OF THE INSTALLED COMPONENTS CAN OCCUR AT THE OWNER'S, BUILDER'S, OR ELECTRICAL CONTRACTOR'S SOLE DISCRETION AND **MAY NOT BE REFLECTED OR UPDATED ON THESE SHEET(S)** AS THESE SHEETS ARE FOR REFERENCE ONLY AND ARE **NOT SIGNED, CERTIFIED, OR SEALED**.

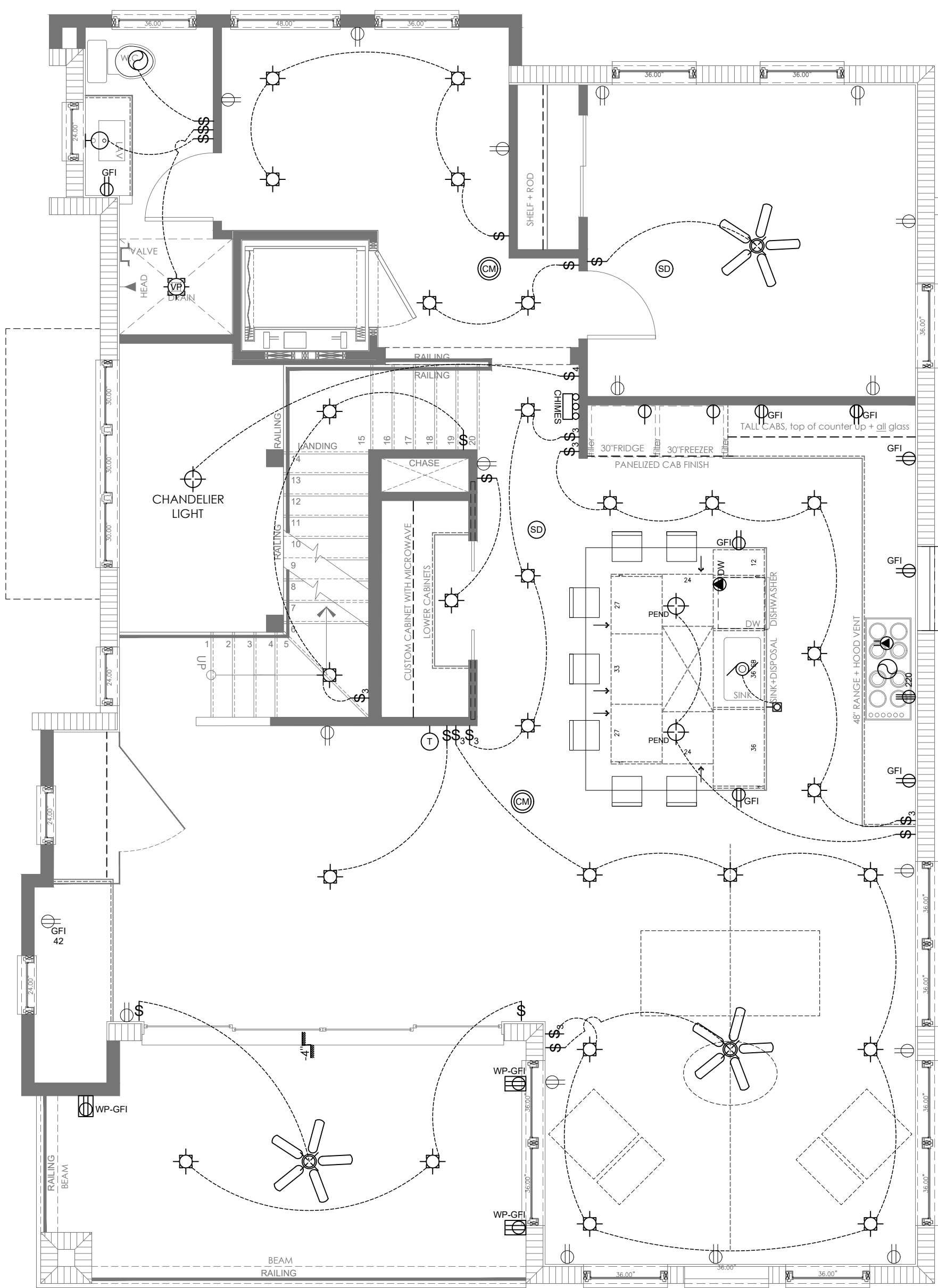
CARBON MONOXIDE PROTECTION NOTES:

EVERY BUILDING FOR WHICH A PERMIT FOR NEW CONSTRUCTION IS ISSUED HAVING A FOSSIL-FUEL-BURNING HEATER OR APPLIANCE, A FIREPLACE, OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE ALARM INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PURPOSES.



Electrical Layout - First Floor

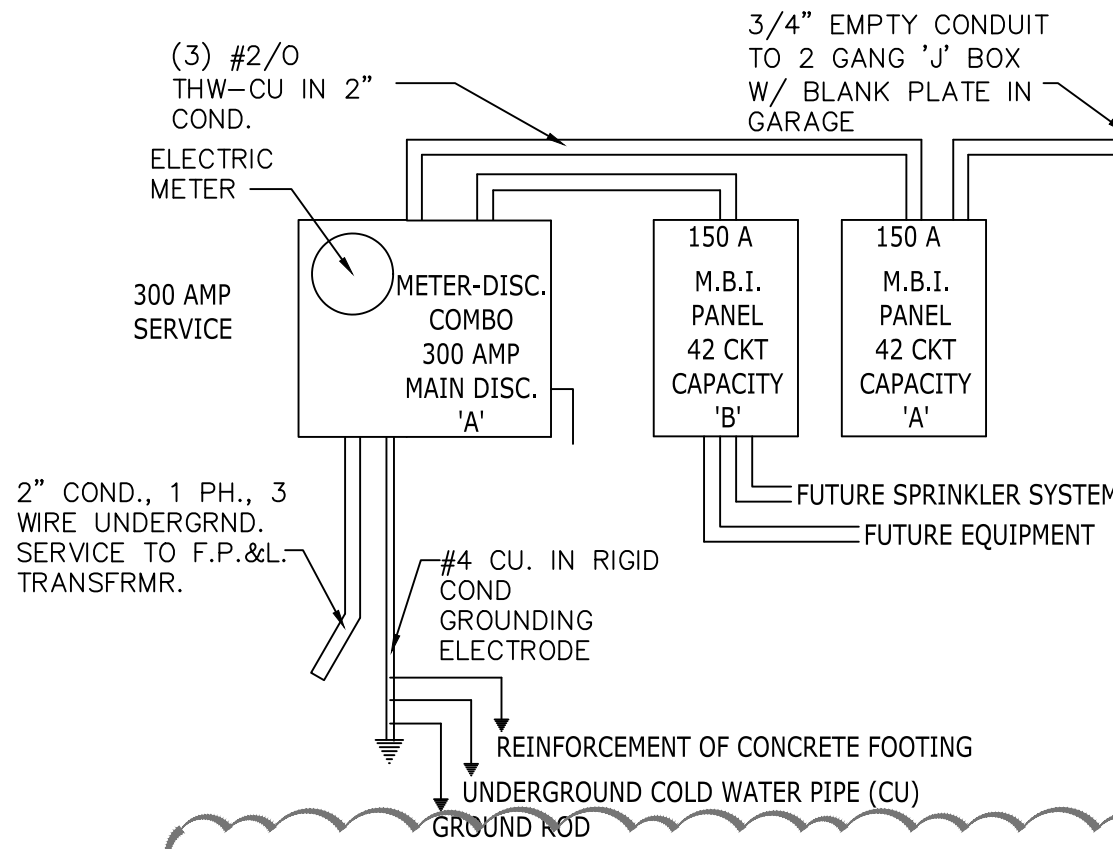
Scale: 1/4" = 1'-0"



Electrical Layout - Second Floor

Scale: 1/4" = 1'-0"

ELECTRICAL RISER DIAGRAM



FOR REFERENCE ONLY

ELECTRICAL LEGEND

- SWITCH, SWITCH = 3-WAY, SWITCH = 4-WAY
- SWITCH W/ DIMMER
- 110 OUTLET
- 110 OUTLET, SINGLE POLE
- DEDICATED / ISOLATED OUTLET
- 110 OUTLET - GROUND FAULT INTERRUPTED
- DEDICATED / ISOLATED VEHICLE CHARGING
- 110 OUTLET - FLOOR MOUNT
- STANDARD 110 OUTLET - WATERPROOF / G.F.I.
- 220 OUTLET
- DISHWASHER CONNECTION
- HEIGHT OR LOCATION OF ELECTRICAL COMPONENT
- GARBAGE DISPOSAL
- STANDARD JUNCTION BOX
- SMOKE DETECTOR
- SMOKE/CARBON MONOXIDE DETECTOR COMBO
- THERMOSTAT
- PUSH BUTTON MOMENTARY SWITCH
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- ELECTRIC METER
- ELECTRIC PANEL
- LIGHT FIXTURE - FLUORESCENT (SIZE AS NOTED)
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- LIGHT FIXTURE - RECESSED CLG. LIGHT
- LIGHT FIXTURE / VAPOR PROOF - RECESSED CLG. LIGHT
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- LIGHT FIXTURE - COACH LIGHT
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STRUCTURAL ENGINEER OF RECORD:
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C.A. #00566

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Custom Home
Laureate Park
Neighborhood Center Phase 1
8517 Karrer Ter,
Orlando, FL 32827

Project No.: 24-005
Designed By: Joseph D. Sirilla
Drawn By: JDS/KC
Checked By: DS
Date of Print: 06 / 18 / 2026
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ELECTRICAL NOTES

1. ELECTRICAL PLAN AS DEPICTED IS FOR REPRESENTATIONAL AND BID PURPOSES ONLY AND IT IS THE RESPONSIBILITY OF THE LICENSED ELECTRICIAN TO PROVIDE ALL REQUIRED INFORMATION FOR PERMIT ISSUANCE AND TO ENSURE THAT ALL ELECTRICAL WORK AND APPLIANCES ARE IN FULL COMPLIANCE WITH N.F.P.A., N.E.C., F.B.C.-R 010, AND ALL APPLICABLE LOCAL STANDARDS, CODES, AND ORDINANCES.
2. FAN, PHONE, ALARM, DATA & CATV LOCATIONS PER CONTRACT
3. UNLESS OTHERWISE INDICATED, INSTALL SWITCHES AND RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE THE INTERIOR FINISHED FLOOR:
- | | |
|------------|----------------------------------|
| SWITCHES | 42" |
| OUTLETS | 14" - 18" |
| KITCHEN | 42" - 44" |
| MICROWAVE | 66" |
| BATHROOMS | 42" |
| LAUNDRY | 36" |
| EXTERIOR | 14" - 18" |
| GARAGE | 42", ALL COMPONENTS |
| RANGE | 2" |
| TELEVISION | NOTED ON PLANS |
| TELEPHONE | 14" - 18" (UNLESS ABOVE COUNTER) |
| CABLE | 14" - 18" (UNLESS ABOVE COUNTER) |
| DATA | 14" - 18" (UNLESS ABOVE COUNTER) |
- NOTE: MOUNTING HEIGHTS ARE TO THE CENTER.
4. ALARMS & DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM THE LOCAL POWER UTILITY. SUCH ALARMS SHALL HAVE BATTERY BACKUP AND MUST BE LOCATED 36" AWAY FROM BATHROOM DOOR LOCATIONS. COMBINATION SMOKE/CARBON MONOXIDE ALARMS/DETECTORS SHALL BE LISTED OR LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY AND INSTALLED AS PER F.B.C.-R REFERENCED NFPA REQUIREMENTS.
5. ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS IN BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT INTERRUPTER(S)

6. ALL 15A AND 20A 120V RECEPTACLES LOCATED IN THE GARAGE AND UTILITY ROOMS SHALL BE G.F.C.I. PROTECTED (G.F.I.).
7. ALL 15A AND/OR 20A RECEPTACLES IN SLEEPING ROOMS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, AND SIMILAR AREAS WILL REQUIRE A COMBINATION TYPE A.F.C.I. DEVICE WITH TAMPER-PROOF RECEPTACLES PER NEC.
8. ALL 15A AND/OR 20A RECEPTACLES IN GARAGE AND UTILITY ROOMS WILL REQUIRE GFCI PROTECTION.
9. EXCEPTIONS FROM GFI REQUIREMENTS SHALL BE PERMITTED PROVIDED LOCATIONS ALLOWED PER NFPA & NEC.
10. BATHROOM EXHAUST FANS MUST VENT TO THE EXTERIOR OF THE BUILDING. VENTING INTO ATTIC SPACES IS NOT ACCEPTABLE.
11. NOTE: ELECTRICAL LOCATIONS SHOWN ON DRAWINGS CAN BE CHANGED AT THE SOLE DISCRETION OF THE BUILDER OR ITS LICENSED ELECTRICIAN IN ORDER TO COMPLY WITH NATIONAL AND MUNICIPAL BUILDING AND ELECTRICAL CODES.
12. IT IS THE SOLE RESPONSIBILITY OF THE LICENSED ELECTRICIAN TO ENSURE THAT ALL ELECTRICAL WORK IS IN FULL COMPLIANCE WITH NFPA, NEC, FBC CODES AND ALL REINING MUNICIPALITY CODES STANDARDS AND ORDINANCES.
13. RANGE HOOD EQUIPPED WITH BACK DRAFT DAMPER AND VENTED TO EXTERIOR. MICROWAVES LOCATED ABOVE COOKTOP AND VENTED TO EXTERIOR SHALL COMPLY WITH UL923.
14. ALL DOORS AND WINDOWS PROVIDING DIRECT ACCESS FROM THE HOME TO THE POOL SHALL BE EQUIPPED WITH AN EXIT ALARM COMPLYING WITH UL THAT HAS A MINIMUM SOUND PRESSURE RATING OF 85 DBA AT 10 FEET, AND EITHER HARDWIRED OR OF THE PLUG-IN TYPE. THE EXIT ALARM SHALL PRODUCE A CONTINUOUS AUDIBLE WARNING WHEN THE DOOR OR WINDOW ARE OPENED.
15. SOME SYMBOLS SHOWN ON THE ELECTRICAL LEGEND MAY NOT BE USED IN THIS PLAN SET.

NOTE: ELECTRICAL MATERIAL AND INSTALLATIONS SHALL COMPLY WITH APPLICABLE PROVISIONS OF THE NFPA, NATIONAL CODES, AND/OR LOCAL POWER/UTILITY COMPANY

THE EXISTING ELECTRICAL SERVICE SIZE MUST BE VERIFIED TO ACCEPT THE ADDITIONAL LOAD PRIOR TO COMMENCEMENT OF CONSTRUCTION.

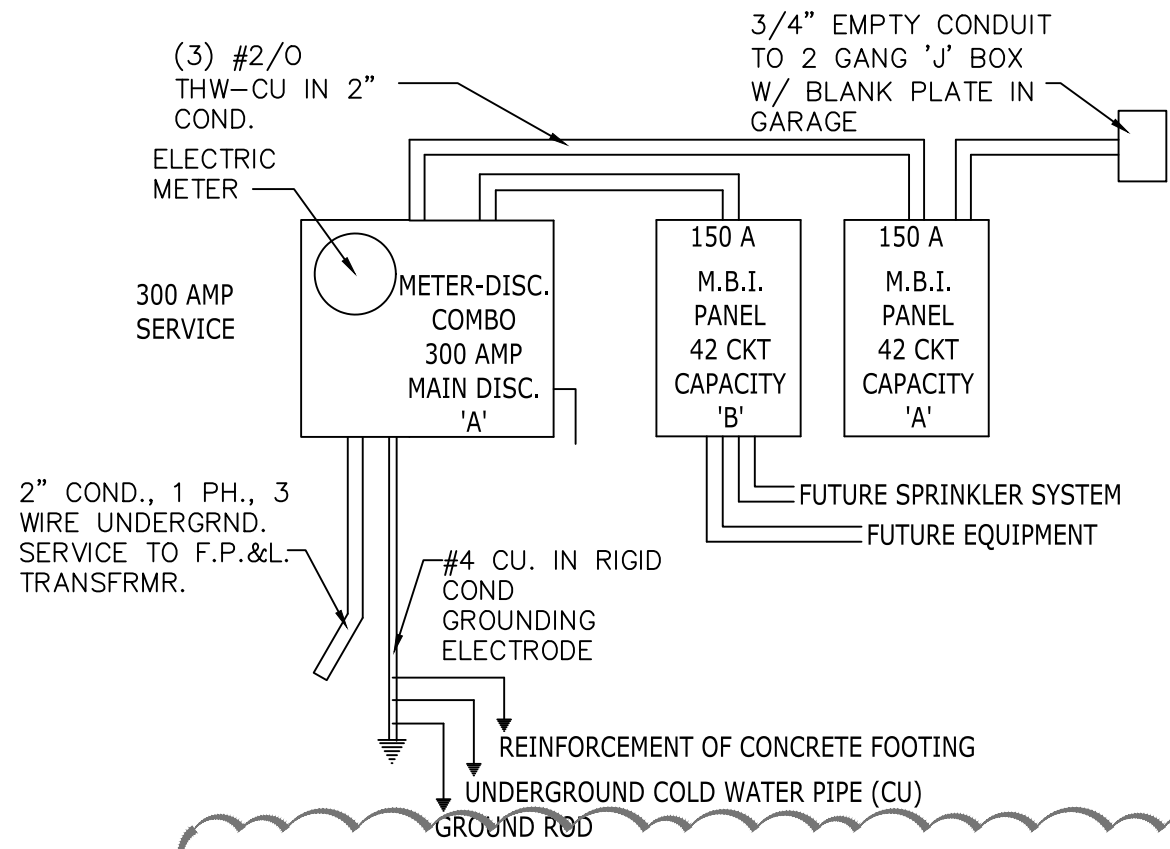
** THE DETAILS PROVIDED ON THIS SHEET ARE FOR INFORMATIONAL PURPOSES ONLY. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR APPLYING FOR THE ELECTRICAL PERMIT TO SUBMIT UP-TO-DATE INFORMATION REGARDING THIS PROJECT IF ANY INFORMATION DIFFERS FROM THESE TWO ELECTRICAL PLAN SHEETS. **

ANY CHANGES TO THE DESIGN OF THE INSTALLED COMPONENTS CAN OCCUR AT THE OWNER'S, BUILDER'S, OR ELECTRICAL CONTRACTOR'S SOLE DISCRETION AND **MAY NOT BE REFLECTED OR UPDATED ON THESE SHEET(S)** AS THESE SHEETS ARE FOR REFERENCE ONLY AND ARE **NOT SIGNED, CERTIFIED, OR SEALED**.

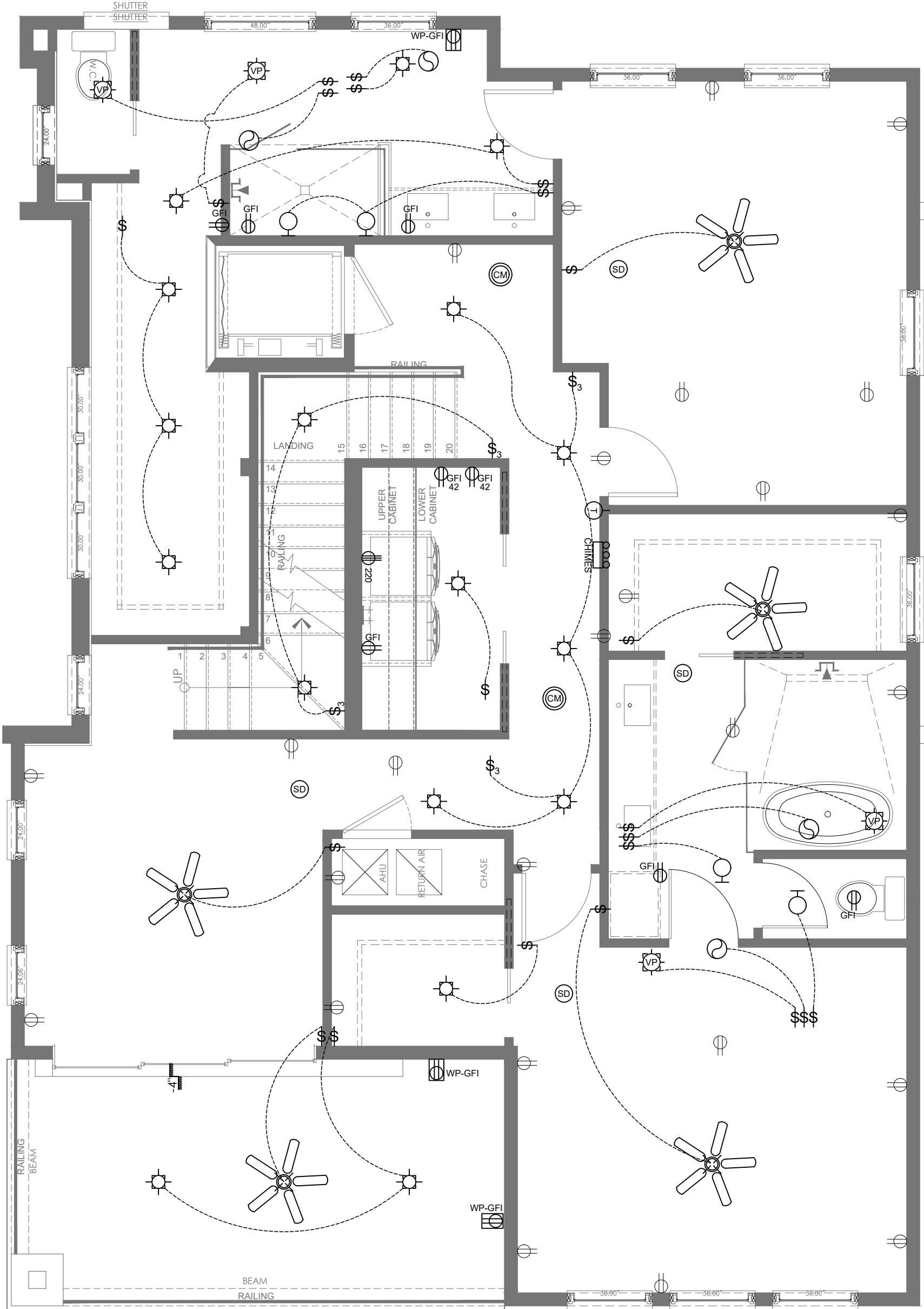
CARBON MONOXIDE PROTECTION NOTES:

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ELECTRICAL RISER DIAGRAM

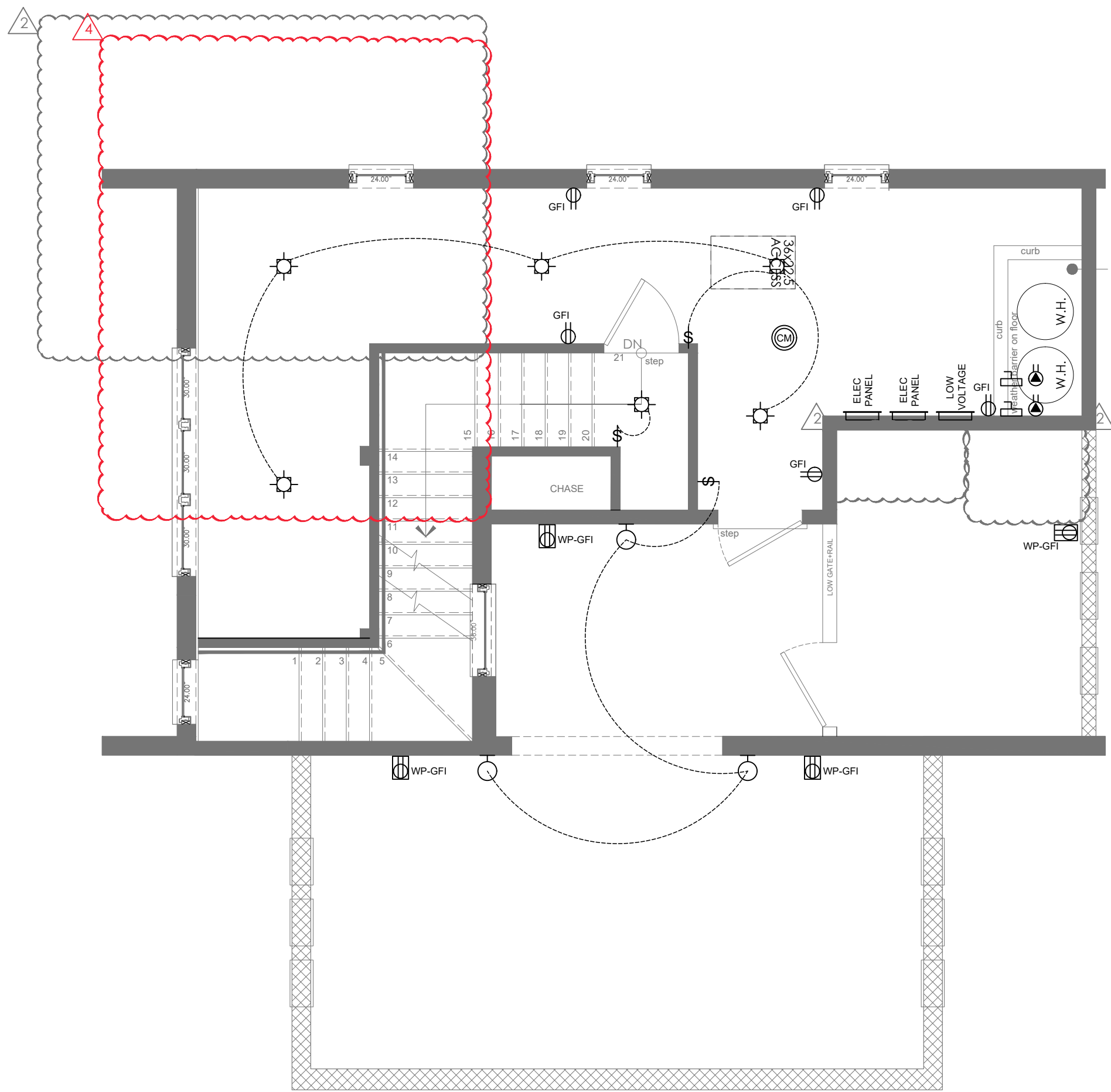


FOR REFERENCE ONLY



Electrical Layout - Third Floor

Scale: 1/4" = 1'-0"



Electrical Layout - Attic Utility Floor

Scale: 1/4" = 1'-0"

ELECTRICAL LEGEND

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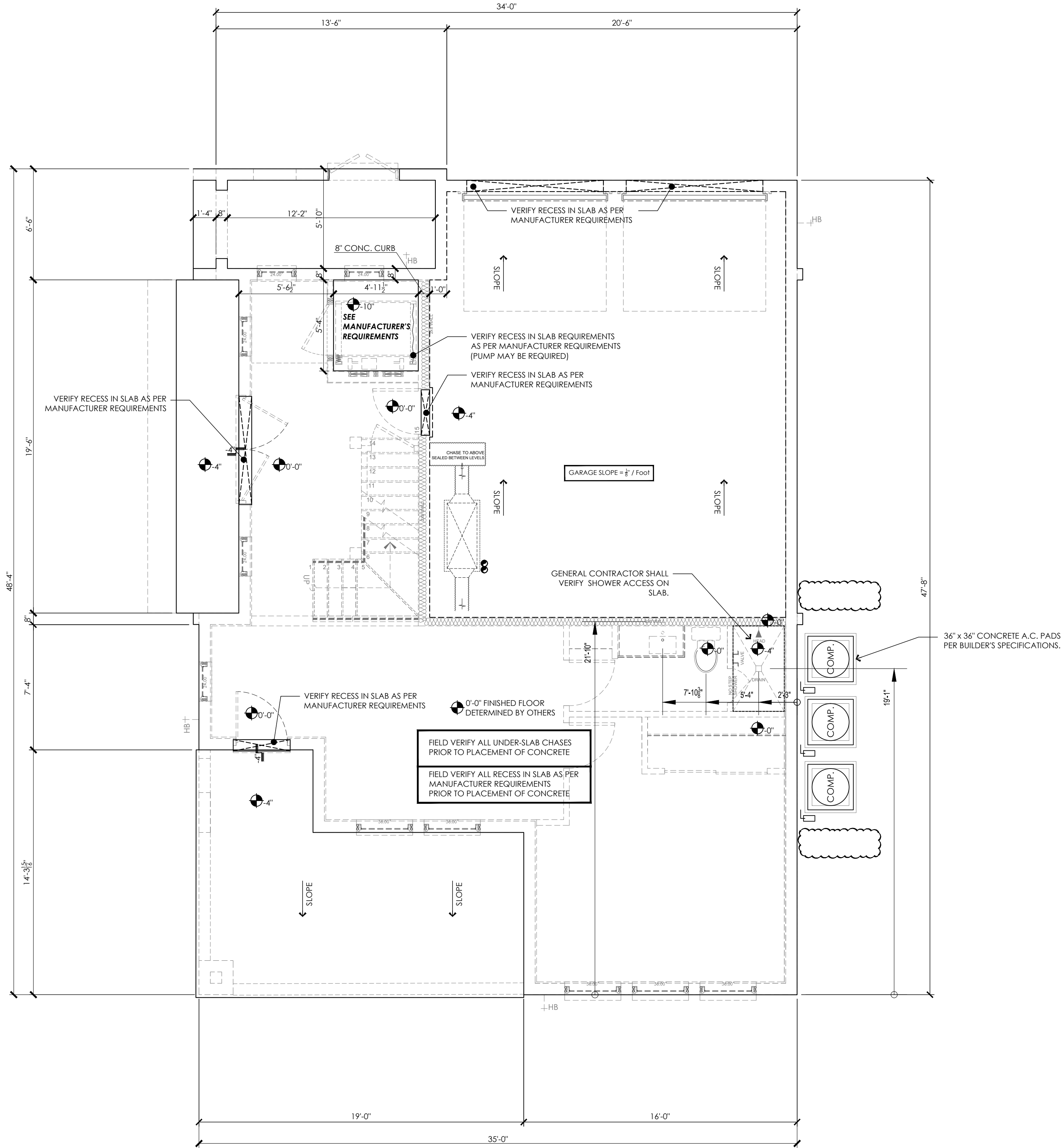
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ALL DIMENSIONS SHOWN ARE EXCLUDING DRYWALL.

ALL DIMENSIONS ARE TO BE FIELD VERIFIED, BUT FOLLOWED AS DEPICTED. DIMENSIONS SHALL BE USED IN LIEU OF SCALING WHENEVER POSSIBLE.

NOTES INDICATING TYPICAL CONDITIONS SHALL APPLY TO ALL LIKE AREAS UNLESS NOTED OTHERWISE.

ALL MATERIALS AND COMPONENTS SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS AND AS PER APPLICABLE CODE REQUIREMENTS FOR THE PROJECT LOCATION.

WINDOW AND DOOR SUPPLIERS SHALL PROVIDE ALL CURRENT ROUGH OPENING INFORMATION, SIZE REQUIREMENTS, GLAZING REQUIREMENTS AND FUNCTION REQUIREMENTS AS PER APPLICABLE CODE REQUIREMENTS FOR THE PROJECT LOCATION AND ALL INFORMATION SHALL TAKE PRECEDENCE OVER THE INFORMATION WITHIN THIS PLAN SET.

CABINET MANUFACTURER'S DESIGN DRAWINGS SHALL HAVE PRECEDENCE OVER THE CABINET LAYOUTS AS DEPICTED HEREIN.

BLOCKING SHALL BE INSTALLED FOR CABINETS IN KITCHEN AND ALL BATHROOMS. ALL BLOCKING HEIGHTS SHALL BE SPECIFIED BY CABINET MANUFACTURER'S DESIGN DRAWINGS.

THIS SHEET SHALL BE READ IN CONJUNCTION WITH COVER SHEET GENERAL PROJECT NOTES, AND ALL SHEETS WITHIN THIS PERMIT PLAN SET.

ALL INTERIOR CONDITIONED SPACE WALL SYSTEMS SHALL RECEIVE 1/2\" DRYWALL ON ALL SURFACES.

THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NO LESS THAN 1/2\" NON SAG GYPSUM BOARD INSTALLED TO THE GARAGE SIDE.

WHERE THE SEPARATION IS A FLOOR TO CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL BE PROTECTED BY NOT LESS THAN 5/8\" TYPE \"X\" GYPSUM BOARD OR EQUIVALENT.

TEMPERED GLAZING AT ALL HAZARDOUS LOCATIONS.

THE DOOR LEADING FROM THE GARAGE SHALL BE SOLID CORE, 20 MINUTE RATED.

ANY ERRORS, DISCREPANCIES AND / OR OMISSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD PRIOR TO COMMENCEMENT OF CONSTRUCTION.

SLAB LAYOUT NOTES:

1. PLUMBER SHALL DESIGN AND LOCATE PLUMBING RISERS WHERE FIXTURES ARE SHOWN.
2. PLUMBING SUB-CONTRACTOR SHALL LOCATE ALL PIPING WITHIN FLOOR SYS. (COORDINATE W/ HVAC CONTRACTOR)
3. WATER HEATER T&P RELIEF VALVE SHALL BE FULL SIZE TO EXTERIOR, WHEN APPLICABLE.
4. WATER HEATER AT OR ABOVE FLOOR LEVEL SHALL BE IN A PAN w/DRAIN TO EXTERIOR. IF TANKLESS SYSTEM IS INSTALLED ALL REQUIREMENTS SHALL BE AS PER THE MANUFACTURER'S SPECIFICATIONS.
5. ALL UNDER SLAB CHASES FOR ELECTRICAL SHALL BE COORDINATED BY THE GENERAL CONTRACTOR OF RECORD PRIOR TO CONCRETE PLACEMENT.
6. ALL RECESSES IN SLAB EDGES FOR DOOR INSTALLATION SHALL BE AS PER MANUFACTURER'S SPECIFICATIONS. HOWEVER, COORDINATION OF FLOORING FINISH SHALL BE CONSIDERED BY THE GENERAL CONTRACTOR PRIOR TO CONCRETE PLACEMENT.

Slab Layout Plan
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